



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK NEW YORK 10278-0090

Regulatory Branch

SUBJECT: Permit Application Number NAN-2021-WCO by the New Jersey Department of Transportation for Portway, Fish House Road/Pennsylvania Avenue (CR659) in the Town of Kearny, Hudson County, New Jersey

Ms. Amber Cheney
New Jersey Department of Transportation
Post Office Box 600
Trenton, New Jersey 08625

Dear Ms. Cheney:

On May 28, 2021, the New York District of the U.S. Army Corps of Engineers received a request for Department of the Army authorization for the discharge of fill material into and/or the placement of structures in and over navigable waters of the United States for the addition of two 12-foot lanes and two 3-foot shoulders for the eastbound and westbound directions. The roadway improvements will encompass approximately 3,800-linear feet, and then east along Pennsylvania Avenue and Fish House Road for approximately 3,200 feet. The rail crossing will be relocated 20-feet east of the existing road crossing and the rail profile will be raised to meet the roadway grades. Additional drainage improvements will restore tidal conveyance between the wetland area and the tidally influenced Hackensack River by replacing the existing corrugated metal pipe (CMP) culvert, with a 60-inch reinforced concrete pipe (RCP) culvert. For the wall construction, soldier pile and lagging walls will be used to minimize impacts to the adjacent wetlands. Permanent impacts associated with the proposed project include 0.019 acres of wetlands and 0.010 acres of temporary wetlands impacts. Permanent impacts within the Hackensack River are 0.001 and 0.006 temporary impacts. The site is located in the Hackensack River waterway, in the Town of Kearny, Hudson County, New Jersey. The specific applicant-provided details are as shown on the attached permit drawings, "State of New Jersey Department of Transportation Plans of Portway Fish House Road/Pennsylvania Avenue CR 659 Improvements, Application for Nationwide Permit No.23 Preconstruction Notification (PCN)" Sheets 1 through 16, drawn by David N. Murray, and dated August 25, 2020.

Based on the information submitted to this office, and accomplishment of notification in accordance with the applicable federal requirements, our review of the project indicates that an individual permit is not required. It appears that the activities within the jurisdiction of this office could be accomplished under Department of the Army Nationwide General Permit Number(s) 23, Approved Categorical Exclusions. The nationwide permits are prescribed as a Reissuance of Nationwide Permits in the Federal Register dated December 27, 2021 (86 FR 73522). The work may be

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performed without further authorization from this office provided the activity complies with the permit conditions listed in Section B, No(s). 12 and 1, 15 and 18 Section C, any applicable New York District regional conditions, the following special condition(s), and any applicable regional conditions added by the State of New Jersey, copies enclosed.

Special Conditions

(A) The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

(B) To protect Essential Fish Habitat (EFH) and EFH-managed species, the permittee shall:

- **Avoid all in-water activities associated with riprap installation and cofferdam installation or removal from March 1 through June 30 to minimize impacts to migrating anadromous fish in any calendar year.**
- **All waterborne equipment shall float during all stages of the tide.**

(C) The permittee shall implement “Best Management Practices” (BMPs) to minimize turbidity impacts to the water way, and efforts should be made to ensure no construction materials or debris enter the waterway. The permittee shall undertake the authorized activities in a manner aimed at reducing impacts upon the general environment. In addition, the permittee shall not stockpile fill or other materials in a manner conducive to erosion, or in areas likely to cause high turbidity runoff during storm events. The permittee shall use all practicable measures during construction (e.g. silt fences, hay bales, erosion control netting, vegetative stabilization) to stabilize all exposed soils immediately upon the completion of each phase of the grading activities in all areas, and appropriate temporary fencing shall be installed around all on-site wetlands and waters of the United States not authorized herein to be impacted and other sensitive ecological areas during construction periods, to prevent equipment and personnel from entering these areas.

This determination covers only the work described in the submitted material. Any major changes in the project may require additional authorizations from the New York District.

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Care should be taken so that construction materials, including debris, do not enter any waterway to become drift or pollution hazards. You are to contact the appropriate state and local government officials to ensure that the subject work is performed in compliance with their requirements.

Please note that this nationwide permit (NWP) verification is based on a preliminary jurisdictional determination (JD). A preliminary JD is not appealable. If you wish, prior to commencement of the authorized work you may request an approved JD, which may be appealed, by contacting the New York District, U.S. Army Corps of Engineers for further instruction. To assist you in this decision and address any questions you may have on the differences between preliminary and approved jurisdictional determinations, please review U.S. Army Corps of Engineers Regulatory Guidance Letter No. 16-01, which can be found at:

<https://usace.contentdm.oclc.org/utills/getfile/collection/p16021coll9/id/1256>

This verification is valid until March 14, 2026, unless the nationwide permit is modified, reissued, or revoked. This verification will remain valid until March 14, 2026, if the activity complies with the terms of any subsequent modifications of the nationwide permit authorization. If the nationwide permits are suspended, revoked, or modified in such a way that the activity would no longer comply with the terms and conditions of a nationwide permit, and the proposed activity has commenced, or is under contract to commence, the permittee shall have 12 months from the date of such action to complete the activity.

The permittees and their designated contractors shall be responsible for, and shall comply with, all of the conditions and stipulations contained within the attached New Jersey Department of Environmental Protection Water Quality Certification dated January 25, 2021 (Permit No. 0907-20-0004.1; LUP200001 expiring January 24, 2026), and all amendments, thereto.

Within 30 days of the completion of the activity authorized by this permit and any mitigation required by this permit, you are to sign and submit the attached compliance certification form to this office.

In order for us to better serve you, please complete our Customer Service Survey located at <http://www.nan.usace.army.mil/Missions/Regulatory/CustomerSurvey.aspx>.

If any questions should arise concerning this matter, please contact Danielle Courtois, of my staff, at (347) 439-9343 or Danielle.R.Courtois@usace.army.mil

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Sincerely,

Danielle Courtois
Project Manager, Western Section

Enclosures

1. Dated Permit Drawings
2. NJDEP permit
3. Preliminary JD
4. Completion Form

cc: NJ DEP
Hudson County
Town of Kearny



STATE OF NEW JERSEY
DEPARTMENT OF ENVIRONMENTAL PROTECTION
DIVISION OF LAND RESOURCE PROTECTION
 Mail Code 501-02A, P.O. Box 420, Trenton, New Jersey 08625-0420
 Telephone: (609) 777-0454 or Fax: (609) 777-3656
 www.nj.gov/dep/landuse



PERMIT

<p>In accordance with the laws and regulations of the State of New Jersey, the Department of Environmental Protection hereby grants this permit to perform the activities described below. This permit is revocable with due cause and is subject to the terms, conditions, and limitations listed below and on the attached pages. For the purpose of this document, "permit" means "approval, certification, registration, authorization, waiver, etc." Violation of any term, condition, or limitation of this permit is a violation of the implementing rules and may subject the permittee to enforcement action.</p>		Approval Date January 25, 2021
		Expiration Date January 24, 2026
Permit Number(s): 0907-20-0004.1; LUP200001	Type of Approval(s): Waterfront Development Individual Permit -Waterward Waterfront Development Individual Permit – Landward Flood Hazard Area Individual Permit Flood Hazard Area Verification Freshwater Wetlands General Permit 10B Freshwater Wetlands General Permit 11 Freshwater Wetlands Transition Area Waiver Water Quality Certificate	Governing Rule(s): N.J.A.C. 7:13-1.1(b) N.J.A.C. 7:7-1.1(a) N.J.A.C. 7:7A-1.1(a)
Permittee: New Jersey Department of Transportation (NJDOT) c/o Ms. Amber Cheney P.O. Box 600 Trenton, NJ 08062	Site Location: Block & Lot: Public Right-of-way Municipality: Town of Kearny County: Hudson	
Description of Authorized Activities: <p>As part of the overall Portway Intermodal Connector Program, this document authorizes roadway expansion at Pennsylvania Ave./Fish House Road between Milepost 1.39 (Central Ave.) and Milepost 2.40 (Fish House Road). The authorized activities are shown on the approved plans referenced at the end of this permit.</p> <p>The document also verifies that the flood hazard design flood elevation of the Hackensack River on the entirety of the project area is 10.6 feet NAVD88.</p> <p>The Department has determined that the herein approved activities meet the requirements of the (FHACA/CZM) rules. This approval does not obviate the local Floodplain Administrator's responsibility to ensure all development occurring within their community's Special Flood Hazard Area is compliant with the local Flood Damage Prevention Ordinance, and minimum NFIP standards, regardless of any state-issued permits. FEMA requires communities to review and permit all proposed construction or other development within their SFHA in order to participate in the NFIP.</p>		
Prepared by: Matthew Resnick	Received and/or Recorded by County Clerk:	
If the permittee undertakes any regulated activity, project, or development authorized under this permit, such action shall constitute the permittee's acceptance of the permit in its entirety as well as the permittee's agreement to abide by the requirements of the permit and all conditions therein.		
This permit is not valid unless authorizing signature appears on the last page.		

STATEMENT OF AUTHORIZED IMPACTS:

The authorized activities allow for the permittee to undertake impacts to regulated areas as described below. Additional impacts to regulated areas without prior Department approval shall constitute a violation of the rules under which this document is issued and may subject the permittee and/or property owner to enforcement action, pursuant to N.J.A.C. 7:13-21.8; N.J.A.C. 7:7-2.1; N.J.A.C. 7:7A-19.11.

FWW GP10B Minor Road Crossings	Permanent Disturbance (Acres)	Temporary Disturbance (Acres)
Freshwater wetlands	0.019	0.004

FWW GP11 Outfalls/Intake Structures	Permanent Disturbance (Acres)	Temporary Disturbance (Acres)
Freshwater wetlands	0	0.006
Transition areas	0	0.005

TAW - Special Activity Linear Development	Permanent Disturbance (Acres)	Temporary Disturbance (Acres)
Transition areas	0.206	0.124

Riparian Zone Vegetation	Area of riparian zone (Acres)
Permanent Disturbed	0.474
Temporary Disturbed	0.096

WFD IP- Commercial/Industrial/Public(Waterward)	Permanent Disturbance (Acres)	Temporary Disturbance (Acres)
Intertidal subtidal shallows (ISS)	0.001	0.006

PRE-CONSTRUCTION CONDITIONS:

1. All sediment barriers and other soil erosion control measures shall be installed prior to commencing any clearing, grading or construction onsite, and shall be maintained in proper working condition throughout the entire duration of the project.
2. All solid and hazardous wastes generated by construction activities associated with this project shall be handled and disposed of in accordance with all applicable State and Federal regulations, standards, and guidelines for the handling and disposal of solid and hazardous wastes, including the Solid Waste

Management Act, N.J.S.A. 13:1E-1 et seq., the Solid Waste Management rules, N.J.A.C. 7:26, the Recycling rules, N.J.A.C. 7:26A, the Hazardous Waste rules, N.J.A.C. 7:26G, and the Technical Requirements for Site Remediation, N.J.A.C. 7:26E.

3. In order to protect anadromous fish species within the Hackensack River and tributaries, no grading, construction or clearing is permitted within the channel onsite between April 1st through June 30th of each calendar year. Furthermore, any activity outside the watercourses, which would likely introduce sediment into the watercourses and/or increase its turbidity, is also prohibited during this period. The Department reserves the right to suspend all regulated activities onsite should it be determined that the permittee has not taken proper precautions to ensure continuous compliance with this condition. If sediment control structures are installed prior to the timing restrictions stated above, construction behind the sediment control structures may proceed during the restricted period

SPECIAL CONDITIONS:

1. All excavated material and dredged material shall be disposed of in a lawful manner outside of any flood hazard area riparian zone, open water, freshwater wetland and adjacent transition area, and in such a way as to not interfere with the positive drainage of the receiving area.
2. Construction equipment shall not be stored, staged or driven within any channel, freshwater wetland or transition area, unless expressly approved by this permit and/or described on the approved plans.
3. Dewatering of cofferdams must include properly sized temporary sediment basins or other filtering methods to adequately reduce turbidity. The stream area to receive return water discharged from dewatering activities must be encompassed by a turbidity barrier. The turbidity barrier must be located parallel to the stream banks and anchored to the shoreline to maintain free flow of the stream center. In order to avoid obstruction of stream flows or fish passage, turbidity barriers must not be placed across the stream channel.
4. The regulated activity shall not expose unset or raw cement to flowing water within any channel or regulated water during construction.
5. Construction may only be performed only under conditions where the stream area is dry or de-watered conditions. No work may be performed where the stream channel is wet.
6. The Department has determined that this project meets the requirements of the Stormwater Management rules at N.J.A.C. 7:8. Any future expansion or alteration of the approved stormwater management system, which would affect water quality, increase the rate or volume of stormwater leaving the site, affect the infiltration capacity on the site, or alter the approved low impact site design, shall be reviewed and approved by the Department prior to construction. This includes any proposed changes to the discharge characteristics of any basin, the construction of new inlets or pipes that tie into the storm sewer network and/or the replacement of existing inlets or pipes with structures of different capacity.
7. The permittee shall make specific arrangements to ensure the continuous maintenance and efficient operation of all proposed stormwater management measures onsite. This includes the inspection (and cleaning where necessary) of any and all constructed swales, basins, inlets at least four times per year and after every major storm totaling 1 inch of rainfall or more, the inspection and cleaning of all manufactured treatment devices per Department certification letters as found on www.njstormwater.org/treatment.html, and the use of appropriate soil conservation practices onsite,

and any other reasonable effort required to maintain the stormwater management system in good working order.

8. Vegetation within 50 feet of the top of the bank shall only be disturbed in the areas specifically shown on the approved drawing(s). No other vegetation within 50 feet of the top of any stream bank onsite shall be disturbed for any reason. This condition applies to all channels onsite regardless of the contributory drainage area.
9. All riparian zone vegetation that is temporarily cleared, cut, and/or removed to conduct a regulated activity, access an area where regulated activities will be conducted, or otherwise accommodate a regulated activity shall be replanted immediately after completion of the regulated activity, unless prevented by seasonal weather, in which case the vegetation shall be replanted as soon as conditions permit. The vegetation to be replanted shall:
 - a. Consist of vegetation of equal or greater ecological function and value as the vegetation that was cleared, cut, or removed. For example, herbaceous vegetation may be replaced with the same type of vegetation or with trees, but the trees in forested areas must be replaced with trees of equal or greater density and ecological function and value;
 - b. Consist of native, non-invasive vegetation, except in an actively disturbed area. In an actively disturbed area, the vegetation may be replaced with the same type of vegetation that was cleared, cut, or removed, or with another kind of vegetation typical of an actively disturbed area. For example, lawn grass may be replaced with garden plants or agricultural crops; and
 - c. In cases where replanting would interfere with continued access to or maintenance of a structure that is required by Federal, State, or local law, the vegetation replanted shall meet the requirements to the extent feasible.
10. Any pipes laid through wetlands, transition areas, or State open water must be properly sealed so as to prevent leaking or infiltration. Pipes and backfilled materials must be placed entirely beneath the pre-existing ground elevation.
11. Any excavation within the wetland or wetland transition area, shall be backfilled to the preexisting elevation and the uppermost 18 inches of the excavation shall be backfilled with the original topsoil material.

RIPARIAN ZONE MITIGATION CONDITIONS:

1. **At least 90 days prior to commencing regulated activities authorized by this permit**, the permittee shall submit a proposal to mitigate for the loss of **0.136 acres** of scrub-shrub riparian zone vegetation. The proposal shall be designed in accordance with the standards at N.J.A.C. 7:13-13. Activities authorized by this permit shall not begin until the permittee has obtained written approval of a mitigation plan from the Department (N.J.A.C. 7:13-13.2(b)).
2. **All mitigation shall be conducted prior to or concurrent with the regulated activity that causes the disturbance.** (N.J.A.C. 7:13-13.3(a)1). Concurrent means that at any given time, the mitigation must track at the same or greater percentage of completion as the project as a whole.
3. If the permittee is purchasing credits from a mitigation bank to satisfy a mitigation requirement, prior to the initiation of regulated activities authorized by this permit, the permittee shall submit proof of purchase for **0.136 acres** of mitigation credits from an approved wetland mitigation bank to the

attention of the Mitigation Unit Supervisor, NJDEP, Division of Land Resource Protection at Mail Code 501-02A, P.O. Box 420, Trenton, NJ 08625-0420.

At this time, the following bank(s) are approved to serve the project area; additional banks may be approved at any time, so please contact the Mitigation unit for the most up to date service area information if you would like additional options.

Oradell Reservoir Mitigation Bank - Contact Doug Lashley of GreenVest/Cranbury LLC at 410-987-5500 or at Doug@greenvestus.com

4. If the permittee is considering conducting a creation, restoration or enhancement project, the following conditions shall apply:

Prior to the initiation of regulated activities authorized by this permit, the permittee shall sign a Department approved conservation restriction to protect the mitigation area from future development that would remove the vegetation planted. (N.J.A.C. 7:13-13.2(g)). The conservation restriction shall conform to the format and content of the rules at N.J.A.C. 7:13-14 and the Riparian Zone Mitigation Area model located at <http://www.nj.gov/dep/landuse/forms/index.html>. The restriction shall be included on the deed and recorded in the office of the County Clerk (the Registrar of Deeds and Mortgages in some counties) in the county wherein the lands of the mitigation project are located. A metes and bounds description shown on a map must be included within the recorded conservation restriction. Within 10 days of filing the conservation restriction, the permittee must send a copy of the conservation restriction to the attention of the Mitigation Unit Supervisor, NJDEP, Division of Land Resource Protection at Mail Code 501-02A, P.O. Box 420, Trenton, NJ 08625-0420.

5. For creation and restoration projects, the permittee shall obtain a secured bond or other financial surety acceptable to the Division from a firm licensed to provide such services in New Jersey. (N.J.A.C. 7:13-13.15)
6. The permittee shall monitor the riparian project for at least 5 years beginning the year after the riparian zone mitigation project has been completed (N.J.A.C. 7:13-13.12(c)). **The permittee shall submit monitoring reports to the Division of Land Resource Protection, no later than December 31st of each full monitoring year.**
 - a. All monitoring reports except the final one should include the requirements and goals of the mitigation proposal and a detailed explanation of the ways in which the mitigation has or has not achieved progress toward those goals. If mitigation has not achieved progress, the report shall also include a list of corrective actions to be implemented and a timeline for completion.
 - b. The final monitoring report must include documentation and data demonstrating that:
 - i. The goals of the riparian zone mitigation as stated in the approved riparian zone mitigation proposal and the permit conditions have been satisfied.
 - ii. At least 85 percent of the mitigation plantings have survived and that at least 85 percent of the mitigation area is established with native species similar to ones identified on the mitigation planting plan. All plant species in the mitigation area must be healthy and thriving. All trees must be at least 5 feet in height; and
 - iii. The site is less than 10 percent occupied by invasive or noxious species; and

- iv. The conservation restriction for the mitigation site has been executed and recorded.
7. If the riparian mitigation project does not meet the success criteria established above the project shall be considered a failure and the permittee shall submit a revised riparian mitigation plan. The revised plan shall be submitted within 60 days of receipt of notification from the Division indicating the riparian mitigation project was a failure.
8. If the Division determines that the riparian zone mitigation project is not constructed in conformance with the approved plan, the permittee will be notified in writing by the Department and will have 60 days to submit a proposal to indicate how the project will be corrected.
9. For preservation projects, the application shall provide documentation showing that the proposed preservation area will fully compensate in accordance with N.J.A.C. 7:13-13.13 for the loss of functions and values caused by the disturbance.

STANDARD CONDITIONS:

1. The issuance of a permit shall in no way expose the State of New Jersey or the Department to liability for the sufficiency or correctness of the design of any construction or structure(s). Neither the State nor the Department shall, in any way, be liable for any loss of life or property that may occur by virtue of the activity or project conducted as authorized under a permit.
2. The issuance of a permit does not convey any property rights or any exclusive privilege.
3. The permittee shall obtain all applicable Federal, State, and local approvals prior to commencement of regulated activities authorized under a permit.
4. A permittee conducting an activity involving soil disturbance, the creation of drainage structures, or changes in natural contours shall obtain any required approvals from the Soil Conservation District or designee having jurisdiction over the site.
5. The permittee shall take all reasonable steps to prevent, minimize, or correct any adverse impact on the environment resulting from activities conducted pursuant to the permit, or from noncompliance with the permit.
6. The permittee shall immediately inform the Department of any unanticipated adverse effects on the environment not described in the application or in the conditions of the permit. The Department may, upon discovery of such unanticipated adverse effects, and upon the failure of the permittee to submit a report thereon, notify the permittee of its intent to suspend the permit.
7. The permittee shall immediately inform the Department by telephone at (877) 927-6337 (WARN DEP hotline) of any noncompliance that may endanger public health, safety, and welfare, or the environment. The permittee shall inform the Division of Land Resource Protection by telephone at (609) 777-0454 of any other noncompliance within two working days of the time the permittee becomes aware of the noncompliance, and in writing within five working days of the time the permittee becomes aware of the noncompliance. Such notice shall not, however, serve as a defense to enforcement action if the project is found to be in violation of this chapter. The written notice shall include:
 - i. A description of the noncompliance and its cause;

- ii. The period of noncompliance, including exact dates and times;
 - iii. If the noncompliance has not been corrected, the anticipated length of time it is expected to continue; and
 - iv. The steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance.
8. Any noncompliance with a permit constitutes a violation of this chapter and is grounds for enforcement action, as well as, in the appropriate case, suspension and/or termination of the permit.
9. It shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the authorized activity in order to maintain compliance with the conditions of the permit.
10. The permittee shall employ appropriate measures to minimize noise where necessary during construction, as specified in N.J.S.A. 13:1G-1 et seq. and N.J.A.C. 7:29.
11. The issuance of a permit does not relinquish the State's tidelands ownership or claim to any portion of the subject property or adjacent properties.
12. The issuance of a permit does not relinquish public rights to access and use tidal waterways and their shores.
13. The permittee shall allow an authorized representative of the Department, upon the presentation of credentials, to:
 - i. Enter upon the permittee's premises where a regulated activity, project, or development is located or conducted, or where records must be kept under the conditions of the permit;
 - ii. Have access to and copy, at reasonable times, any records that must be kept under the conditions of the permit;
 - iii. Inspect, at reasonable times, any facilities, equipment, practices, or operations regulated or required under the permit. Failure to allow reasonable access under this paragraph shall be considered a violation of this chapter and subject the permittee to enforcement action; and
 - iv. Sample or monitor at reasonable times, for the purposes of assuring compliance or as otherwise authorized by the Federal Act, by the Freshwater Wetlands Protection Act, or by any rule or order issued pursuant thereto, any substances or parameters at any location.
14. The permittee shall not cause or allow any unreasonable interference with the free flow of a regulated water by placing or dumping any materials, equipment, debris or structures within or adjacent to the channel while the regulated activity, project, or development is being undertaken. Upon completion of the regulated activity, project, or development, the permittee shall remove and dispose of in a lawful manner all excess materials, debris, equipment, and silt fences and other temporary soil erosion and sediment control devices from all regulated areas.
15. The permittee and its contractors and subcontractors shall comply with all conditions, site plans, and supporting documents approved by the permit.

16. All conditions, site plans, and supporting documents approved by a permit shall remain in full force and effect, so long as the regulated activity, project, or development, or any portion thereof, is in existence, unless the permit is modified pursuant to the rules governing the herein approved permits.
17. The permittee shall perform any mitigation required under the permit in accordance with the rules governing the herein approved permits.
18. If any condition or permit is determined to be legally unenforceable, modifications and additional conditions may be imposed by the Department as necessary to protect public health, safety, and welfare, or the environment.
19. Any permit condition that does not establish a specific timeframe within which the condition must be satisfied (for example, prior to commencement of construction) shall be satisfied within six months of the effective date of the permit.
20. A copy of the permit and all approved site plans and supporting documents shall be maintained at the site at all times and made available to Department representatives or their designated agents immediately upon request.
21. The permittee shall provide monitoring results to the Department at the intervals specified in the permit.
22. A permit shall be transferred to another person only in accordance with the rules governing the herein approved permits.
23. A permit can be modified, suspended, or terminated by the Department for cause.
24. The submittal of a request to modify a permit by the permittee, or a notification of planned changes or anticipated noncompliance, does not stay any condition of a permit.
25. Where the permittee becomes aware that it failed to submit any relevant facts in an application, or submitted incorrect information in an application or in any report to the Department, it shall promptly submit such facts or information.
26. The permittee shall submit written notification to the Bureau of Coastal and Land Use Compliance and Enforcement, 401 East State Street, 4th Floor, PO Box 420, Mail Code 401-04C, Trenton, NJ 08625, at least three working days prior to the commencement of regulated activities.
27. The permittee shall record the permit, including all conditions listed therein, with the Office of the County Clerk (the Registrar of Deeds and Mortgages, if applicable) of each county in which the site is located. The permit shall be recorded within 30 calendar days of receipt by the permittee, unless the permit authorizes activities within two or more counties, in which case the permit shall be recorded within 90 calendar days of receipt. Upon completion of all recording, a copy of the recorded permit shall be forwarded to the Division of Land Resource Protection at the address listed on page one of this permit.

APPROVED PLANS:

The drawings hereby approved consist of thirty five (35) sheets, undated, and digitally signed and sealed by Mr. David Murry of HNTB Corporation on January 21, 2020, entitled:

“NEW JERSEY DEPARTMENT OF TRANSPORTATION, PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE, CR 659, CONTRACT NO. 001028041”

- “TYPICAL SECTIONS” (Sheets 2 thru 5 of 43);
- “PROFILE” (Sheets 8 thru 10 of 43);
- “FLOOD HAZARD AREA PERMIT PLANS” (Sheets 11 thru 24 of 43), last revised on December 15, 2020;
- “WETLANDS IMPACT PLAN” (Sheets 26 thru 28 of 43);
- “WATERFRONT DEVELOPMENT PLANS” (Sheets 29 thru 31 of 43);
- “GENERAL PLAN AND ELEVATION WALL-1” (Sheets 32 thru 34 of 43);
- “GENERAL PLAN AND ELEVATION WALL-2” (Sheets 35 & 36 of 43);
- “TYPICAL SECTIONS” (Sheet 37 of 43); and
- “CONSTRUCTION DETAILS” (Sheets 38 & 39 of 43).

APPEAL OF DECISION:

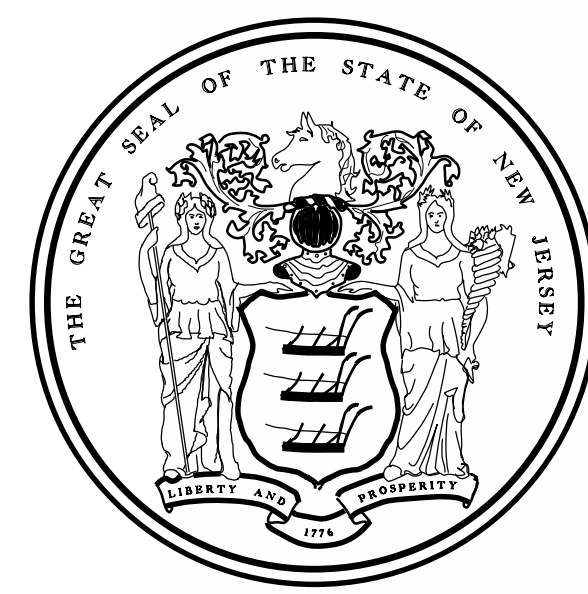
Any person who is aggrieved by this decision may submit an adjudicatory hearing request within 30 calendar days after public notice of the decision is published in the DEP Bulletin (available at www.nj.gov/dep/bulletin). If a person submits the hearing request after this time, the Department shall deny the request. The hearing request must include a completed copy of the Administrative Hearing Request Checklist (available at www.nj.gov/dep/landuse/forms.html). A person requesting an adjudicatory hearing shall submit the original hearing request to: NJDEP Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, P.O. Box 402, 401 East State Street, 7th Floor, Trenton, NJ 08625-0402. Additionally, a copy of the hearing request shall be submitted to the Director of the Division of Land Resource Protection at the address listed on page one of this permit. In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see www.nj.gov/dep/odr for more information on this process.

If you need clarification on any section of this permit or conditions, please contact the Division of Land Resource Protection’s Technical Support Call Center at (609) 777-0454.

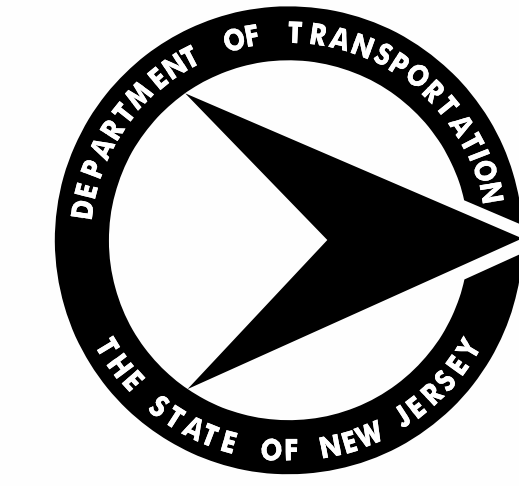
Approved By:

Joslin C. Tamagno, Environmental Supervisor, ES4
Bureau of Urban Growth and Redevelopment
Division of Land Resource Protection

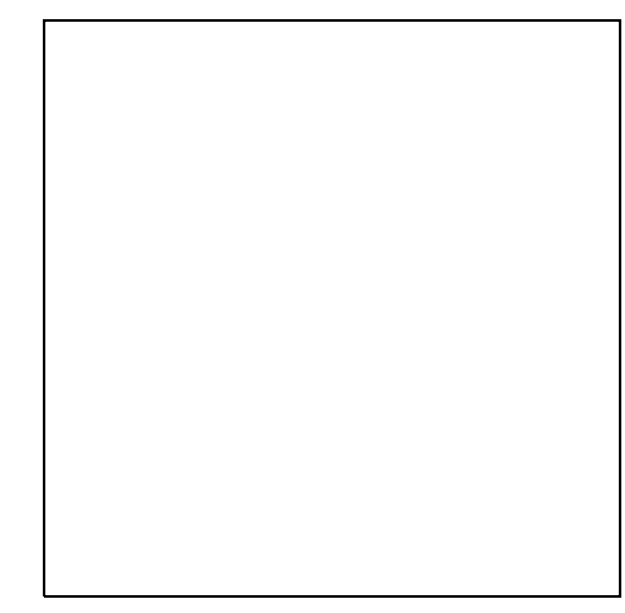
c: Town of Kearny Clerk
Town of Kearny Construction Official



State of New Jersey Department of Transportation



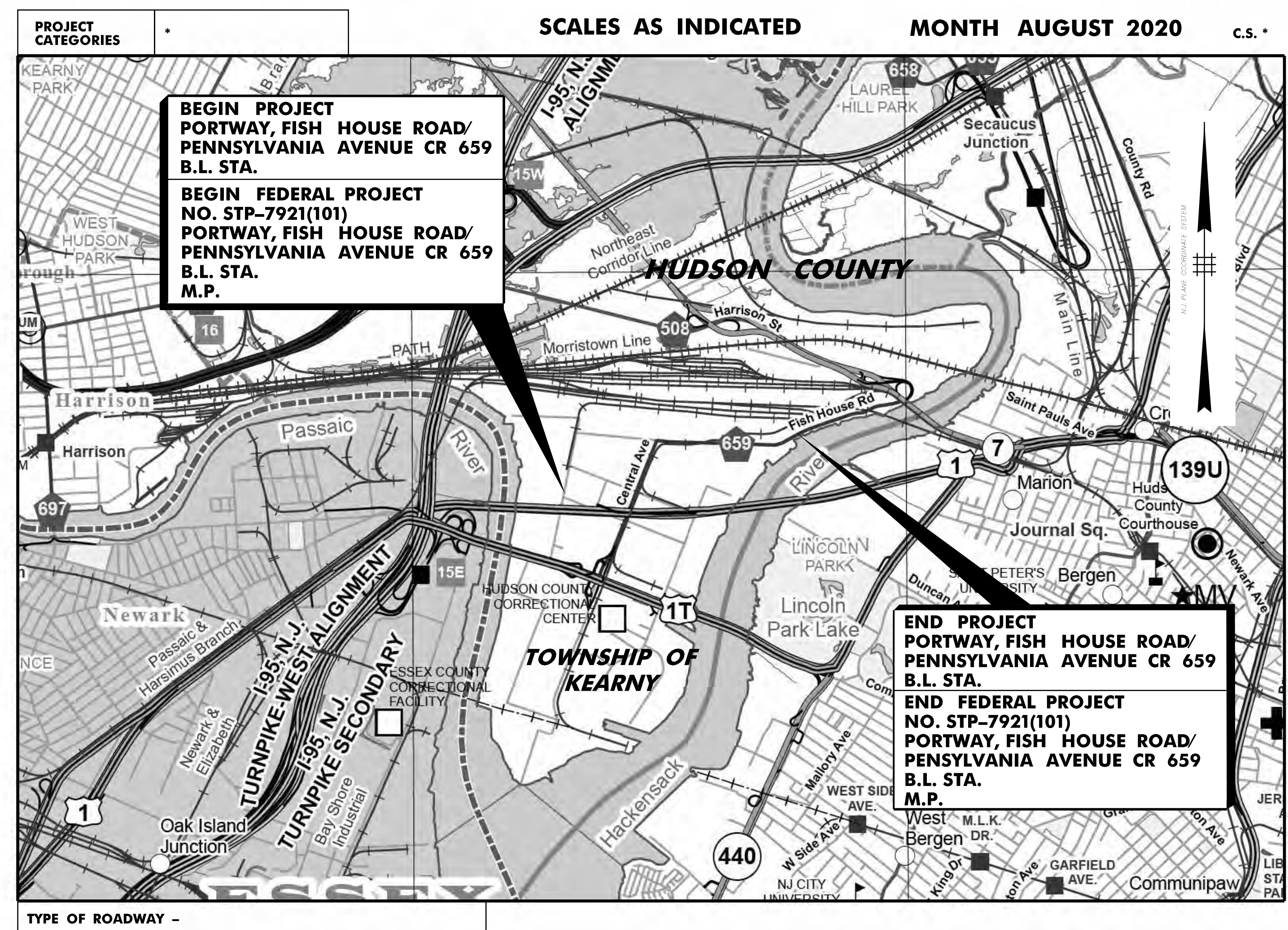
**PLANS OF
PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVENUE CR 659
IMPROVEMENTS
APPLICATION FOR NATIONWIDE PERMIT (NWP) NO. 23
PRE-CONSTRUCTION NOTIFICATION (PCN)**



INDEX OF SHEETS	
SHEET NUMBERS	DESCRIPTION
1	KEY SHEET
2	TYPICAL SECTIONS
3	PLAN SHEET INDEX
4	PROFILES
6 - 7	WETLANDS IMPACT PLANS
8 - 10	WATERFRONT DEVELOPMENT PLANS
11 - 16	RETAINING WALL PLANS

TOWN OF KEARNY

HUDSON COUNTY



SCALES AS INDICATED

MONTH AUGUST 2020 C.S. *

COASTAL ZONE MANAGEMENT IMPACTS (ACRES)			
IMPACT TYPE	WATERFRONT DEVELOPMENT INDIVIDUAL PERMIT		TOTAL
	TEMPORARY	PERMANENT	
INTERTIDAL/SUBTIDAL SHALLOWS	0.006	0.001	0.007
TOTAL	0.006	0.001	0.007

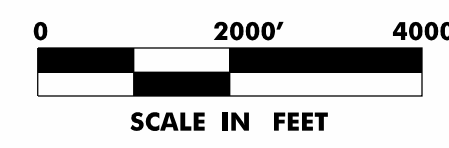
RIPARIAN ZONE IMPACTS (SQUARE FEET)					
PROPOSED REGULATED ACTIVITY	TEMPORARY IMPACTS	PERMANENT IMPACTS	TOTAL DISTURBANCE	ALLOWABLE DISTURBANCE PER TABLE 11.2	PERMANENT DISTURBANCES EXCEEDING ALLOWABLE
RECONSTRUCTED ROADWAY NOT CROSSING WATER	3,210	7,458	10,668	1,500	5,958 (0.137 ACRES)
RECONSTRUCTED ROADWAY CROSSING WATER	927	1,324	2,251	3,000	0
STORMWATER PIPE	279	0	279	1,000	0

NJDEP METHOD 2 - FEMA TIDAL FLOOD HAZARD SUMMARY TABLE			
PRELIMINARY WORK FEMA FIRM NUMBER AND DATE	ZONE	ELEVATION (NAVD 1988)	STATION LIMITS
34017C0101E (01/30/2015)	AE	10.6'	START OF PROJECT TO STA. 206+75
34017C0102E (12/20/2013)	AE	10.6'	STA. 206+75 TO END OF PROJECT

NOTES:

1. PROJECT DATUM IS NAVD 1988. FOR ELEVATIONS LOCATED IN KEARNY, ADD 1.12' TO CONVERT TO NGVD 1929 ELEVATIONS.
2. WETLAND DELINEATION WAS COMPLETED BY AMY S. GREENE ENVIRONMENTAL CONSULTANTS (ASGEC) IN OCTOBER OF 2001. THESE WETLANDS WERE INCLUDED AS PART OF THE FOLLOWING PERMITS APPROVED SEPTEMBER 22, 2010: FILE NO. 0900-09-0002.1 WFD 090002 (IP IN WATER); WFD 090001 (IP UPLAND); FWW 090001 (IP WETLAND); FWW 090002 (IP OPEN WATER); FHA 090001 (FHA IP); FHA 090002 (VERIFICATION).

KEY MAP



**TOTAL LENGTH OF PROJECT = * LIN. FT. OR * MILES
TOTAL LENGTH OF FEDERAL PROJECT NO. = * LIN. FT. OR * MILES**

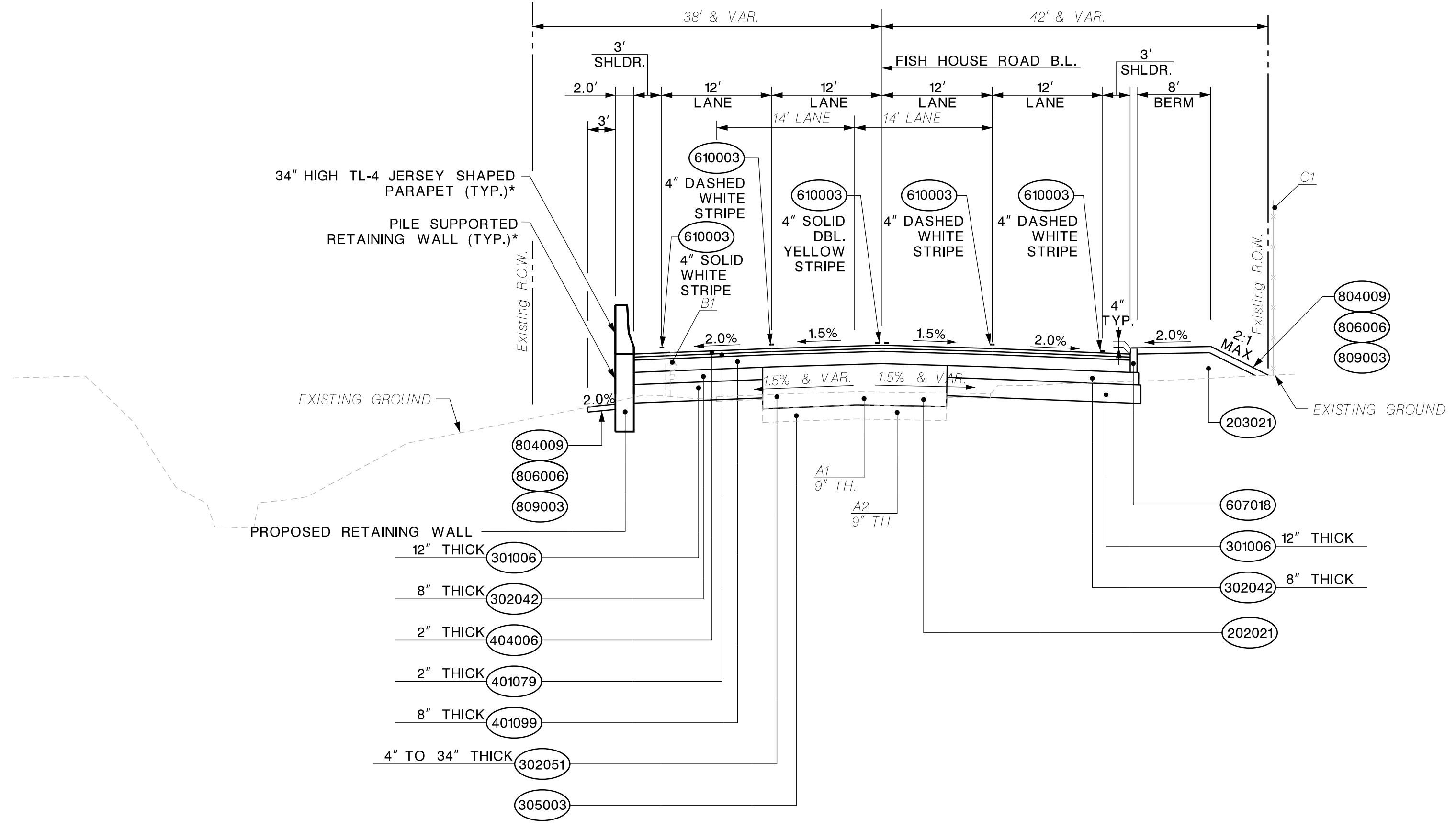
SUMMARY OF FRESHWATER WETLANDS IMPACTS (ACRES)							
IMPACT TYPE	GENERAL PERMIT NO. 10B		GENERAL PERMIT NO. 11		SPECIAL ACTIVITY TRANSITION AREA WAIVER FOR LINEAR DEVELOPMENT		TOTAL
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT	
FRESHWATER WETLANDS	0.004	0.019	0.006	0.000	0.000	0.000	0.029
WETLAND TRANSITION AREAS	0.000	0.000	0.005	0.000	0.124	0.206	0.335
TOTAL	0.004	0.019	0.011	0.000	0.124	0.206	0.364

"CHANGES MADE TO THESE PLANS SINCE SIGNATURE BY THE CONSULTANT MAY BE DETERMINED BY COMPARISON OF THE PLANS FILED AT THE DEPARTMENT WITH THOSE FILED AT THE OFFICE OF THE CONSULTANT."

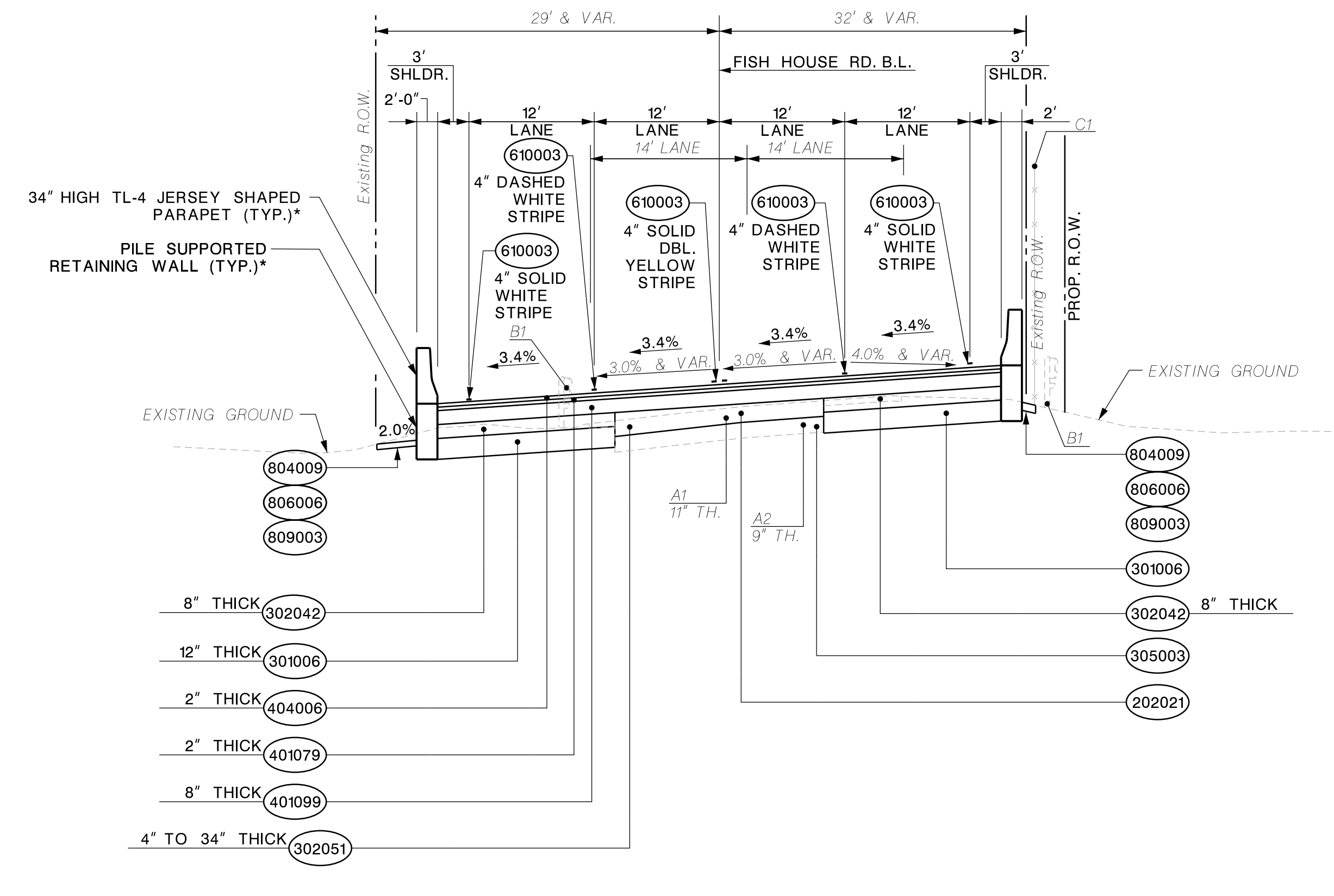
HNTB CORPORATION
CERTIFICATION OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$ FILE: PF-Title-NUDEP-Permit.dgn



PENNSYLVANIA AVENUE / FISH HOUSE ROAD
STA. 199 + 63 TO STA. 205 + 63
* WHERE SHOWN ON PLANS

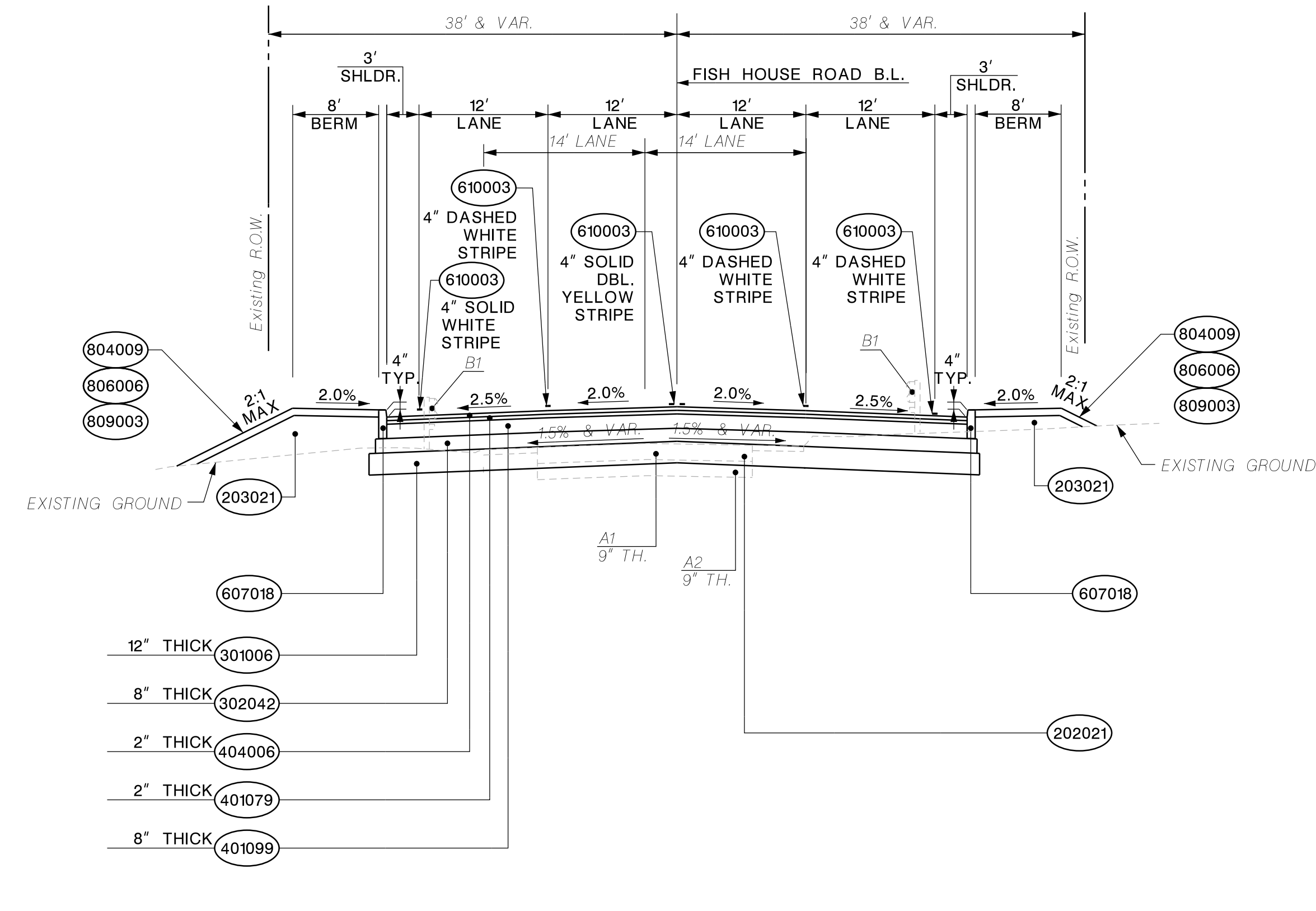


FISH HOUSE ROAD
STA. 205 + 63 TO STA. 210 + 00
* WHERE SHOWN ON PLANS

NOTES:
1. IN THE WIDENING AREA, MIN. 6" OF EXISTING GROUND SHALL BE REMOVED AND REPLACED WITH SUBBASE.

Existing Materials	
ITEM NO.	DESCRIPTION
A1	HOT MIX ASPHALT OVERLAY
A2	REINFORCED CONCRETE
A3	SURFACE COURSE
B1	EXISTING BEAM GUIDE RAIL
C1	CHAIN LINK FENCE

PROPOSED MATERIALS	
ITEM NO.	DESCRIPTION
202021P	REMOVAL OF PAVEMENT
203021P	I-14 SOIL AGGREGATE
301006P	SUBBASE
302042P	DENSE-GRADED AGGREGATE BASE COURSE, 8" THICK
302051P	DENSE-GRADED AGGREGATE BASE COURSE, VARIABLE THICKNESS
305003P	RUBBLIZATION
401009P	HMA MILLING, 3" OR LESS
401079M	HOT MIX ASPHALT 12.5 M E INTERMEDIATE COURSE
401099M	HOT MIX ASPHALT 25 M 64 BASE COURSE
404006M	STONE MATRIX ASPHALT 12.5 MM SURFACE COURSE
605051P	CHAIN-LINK FENCE, 8' HIGH
606012P	CONCRETE SIDEWALK, 4" THICK
606075P	CONCRETE ISLAND, 4" THICK
607018P	9" X 16" CONCRETE VERTICAL CURB
610003M	TRAFFIC STRIPES, 6"
804009P	TOPSOILING, 6" THICK
806006P	FERTILIZING AND SEEDING, TYPE A-3
809003M	STRAW MULCHING



FISH HOUSE ROAD
STA. 210 + 00 TO STA. 210 + 53
* WHERE SHOWN ON PLANS

N.T.S.

TS-1

NEW JERSEY DEPARTMENT OF TRANSPORTATION

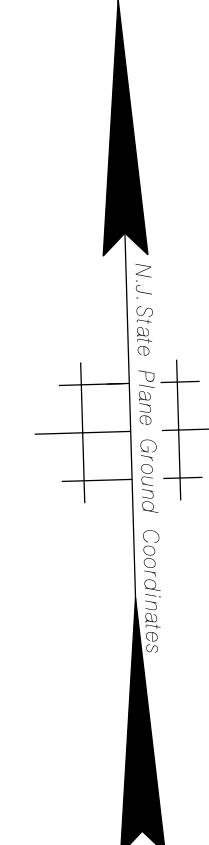
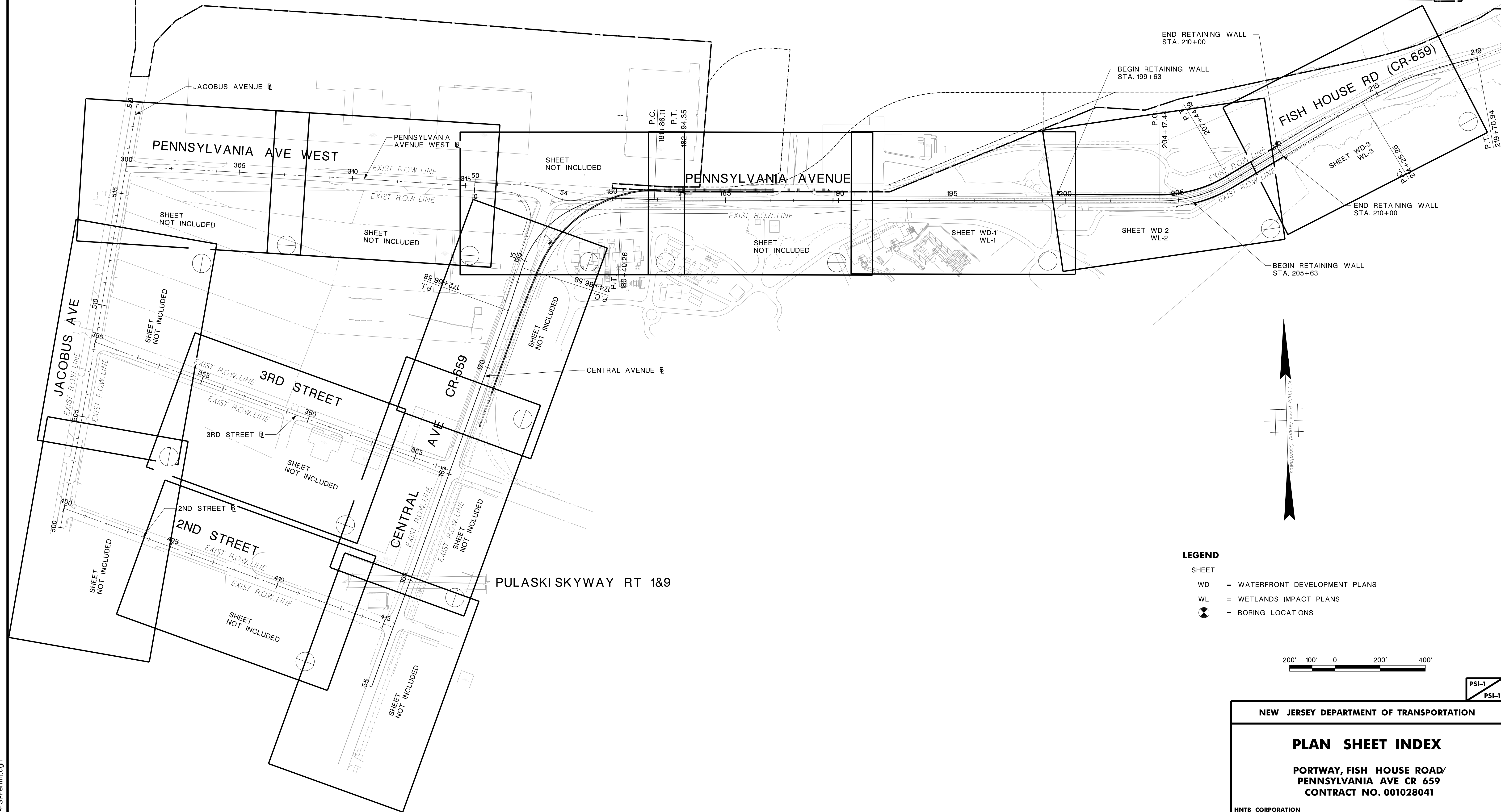
TYPICAL SECTIONS

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$
FILE: PF-TYP03-Permit.dgn



LEGEND

- SHEET
- WD = WATERFRONT DEVELOPMENT PLANS
- WL = WETLANDS IMPACT PLANS
- ⊗ = BORING LOCATIONS



PSI-1
PSI-1

NEW JERSEY DEPARTMENT OF TRANSPORTATION

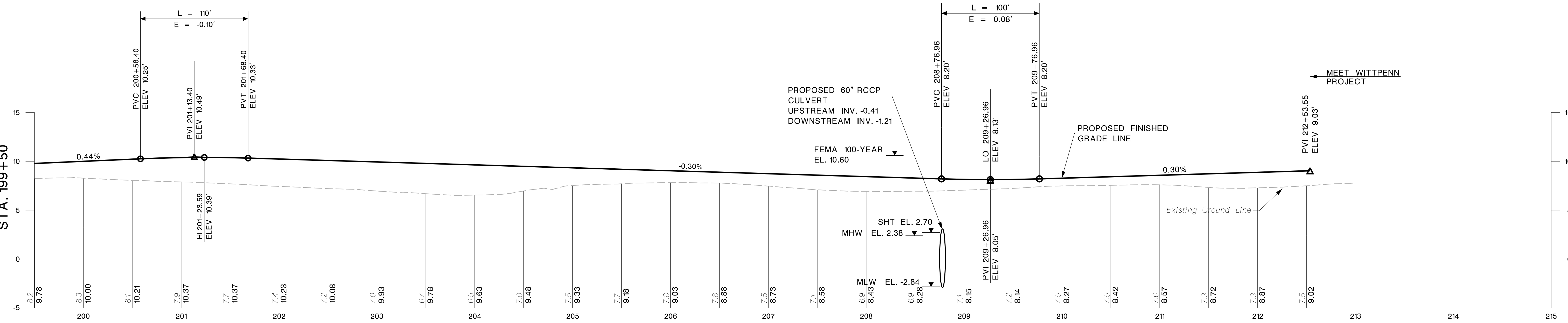
PLAN SHEET INDEX

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

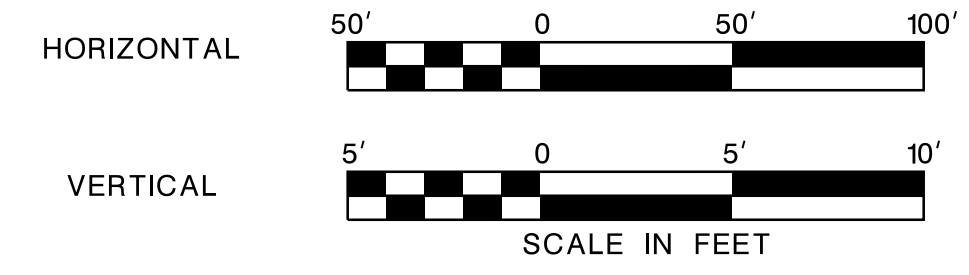
MATCH SHEET P-1
STA. 199+50



**CENTRAL AVENUE
PENNSYLVANIA AVENUE
FISH HOUSE ROAD**

DESIGN SPEED = 30 MPH

NOTE:
E = DIFFERENCE BETWEEN THE P.V.I.ELEVATION
AND THE VERTICAL CURVE ELEVATION AT
THE P.V.I. STATION.



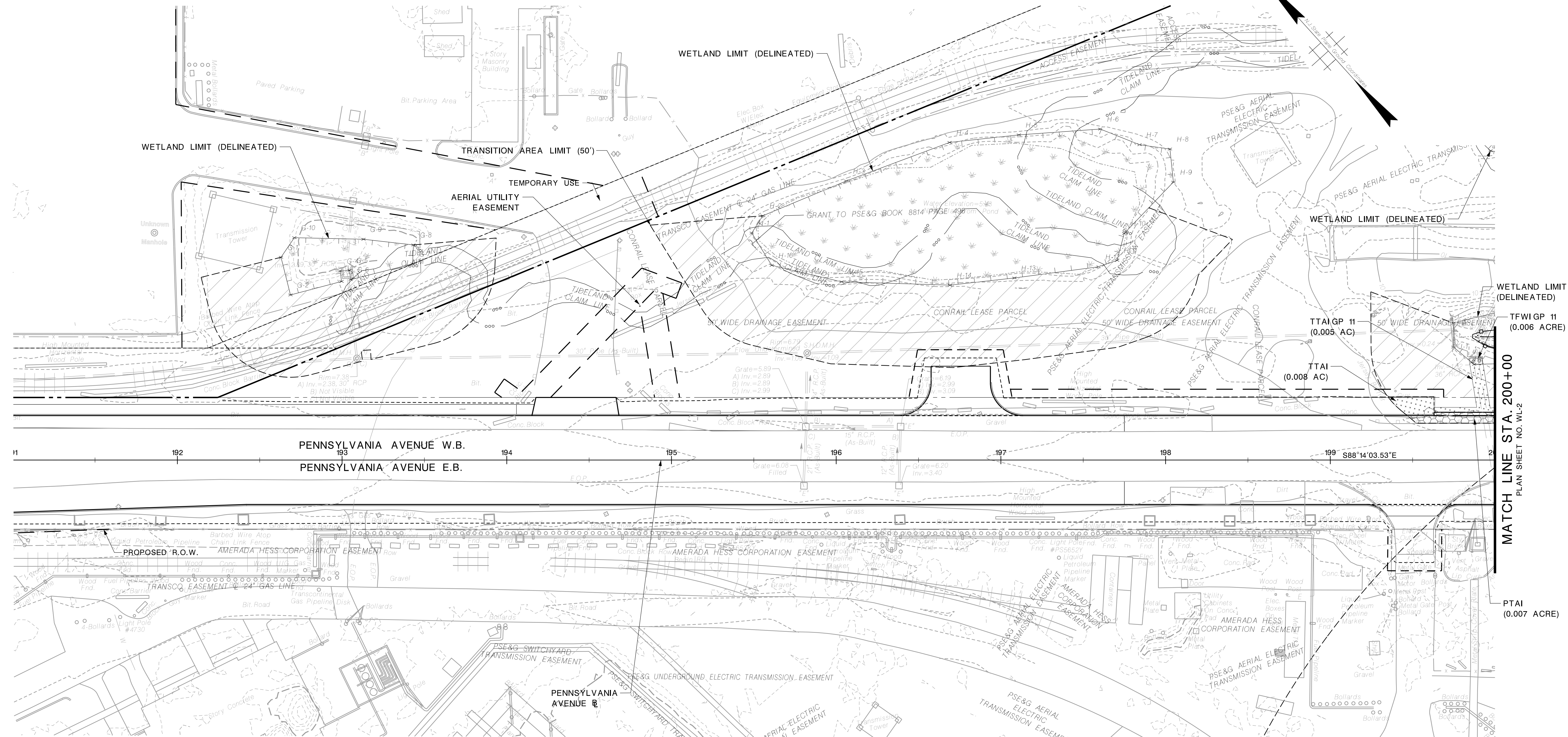
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FILE: PF-P02Permit.dgn

NEW JERSEY DEPARTMENT OF TRANSPORTATION	
PROFILE	
PORTWAY, FISH HOUSE ROAD/ PENNSYLVANIA AVE CR 659 CONTRACT NO. 001028041	
HNTB CORPORATION CERTIFICATE OF AUTHORIZATION NO. 24GA28000700	
DAVID N. MURRAY NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300	

P-2
P-3

TOWN OF KEARNY

COUNTY OF HUDSON



PENNSYLVANIA AVENUE W.B.
 PENNSYLVANIA AVENUE E.B.

PROPOSED R.O.W.
 AMERADA HESS CORPORATION EASEMENT
 TRANSCO EASEMENT @ 24" GAS LINE

LEGEND:

- WETLAND LINE AND FLAG LOCATIONS
- TRANSITION ZONE
- TEMPORARY TRANSITION AREA IMPACTS (TTAI)
- PERMANENT TRANSITION AREA IMPACTS (PTAI)
- TEMPORARY FRESHWATER WETLAND IMPACTS (TFWI)
- MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
- MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
- SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
- INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88

IMPACT TYPE	FRESHWATER WETLANDS IMPACTS (ACRES)				TOTAL
	SPECIAL ACTIVITY TRANSITION AREA WAIVER FOR LINEAR DEVELOPMENT		GENERAL PERMIT NO. 11		
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT	
STATE OPEN WATERS	0.000	0.000	0.000	0.000	0.000
FRESHWATER WETLANDS	0.000	0.000	0.006	0.000	0.006
WETLAND TRANSITION AREAS	0.008	0.007	0.005	0.000	0.020
TOTAL	0.008	0.007	0.011	0.000	0.026

NEW JERSEY DEPARTMENT OF TRANSPORTATION

WETLANDS IMPACT PLAN

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

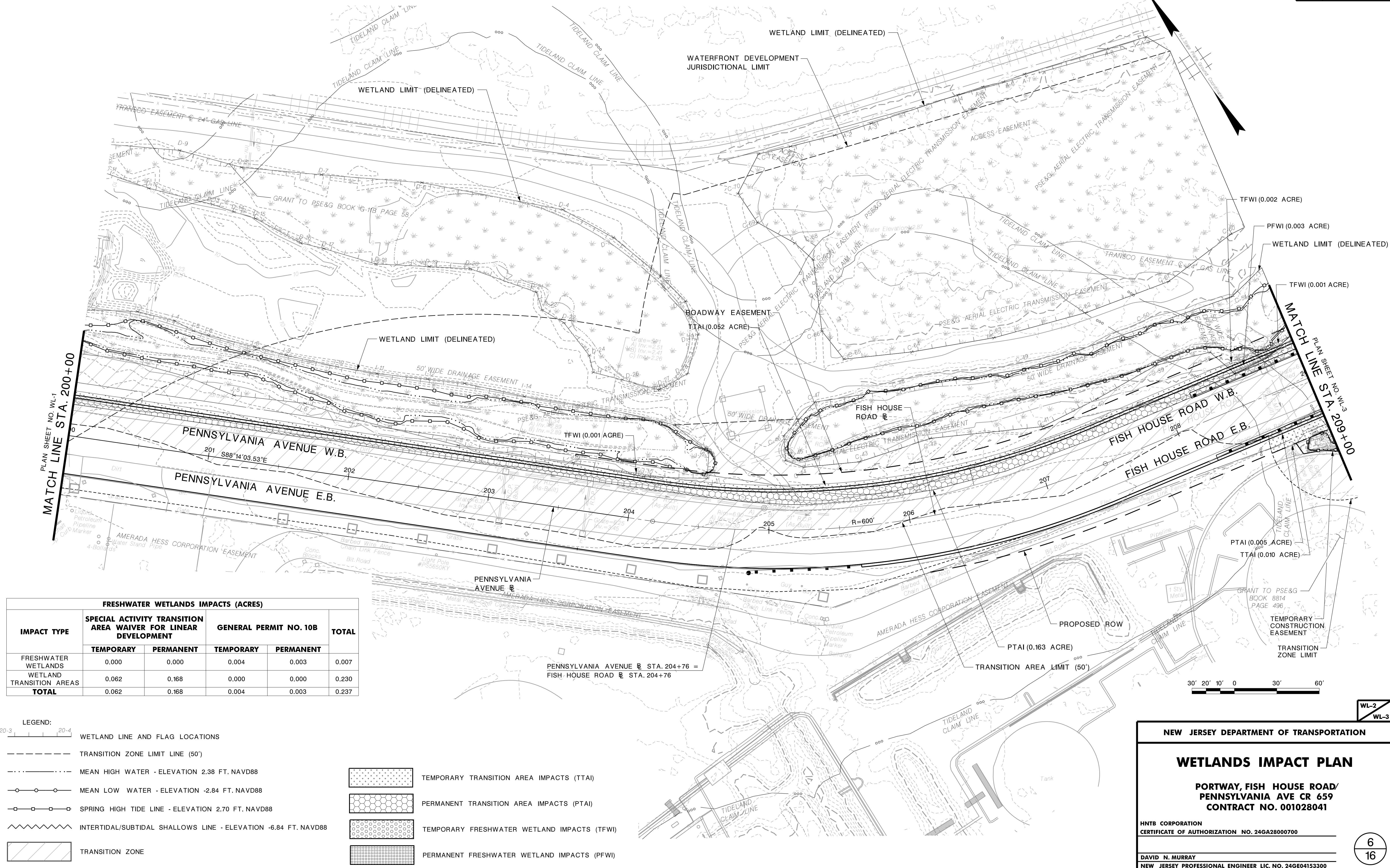
HNTB CORPORATION
 CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
 NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$
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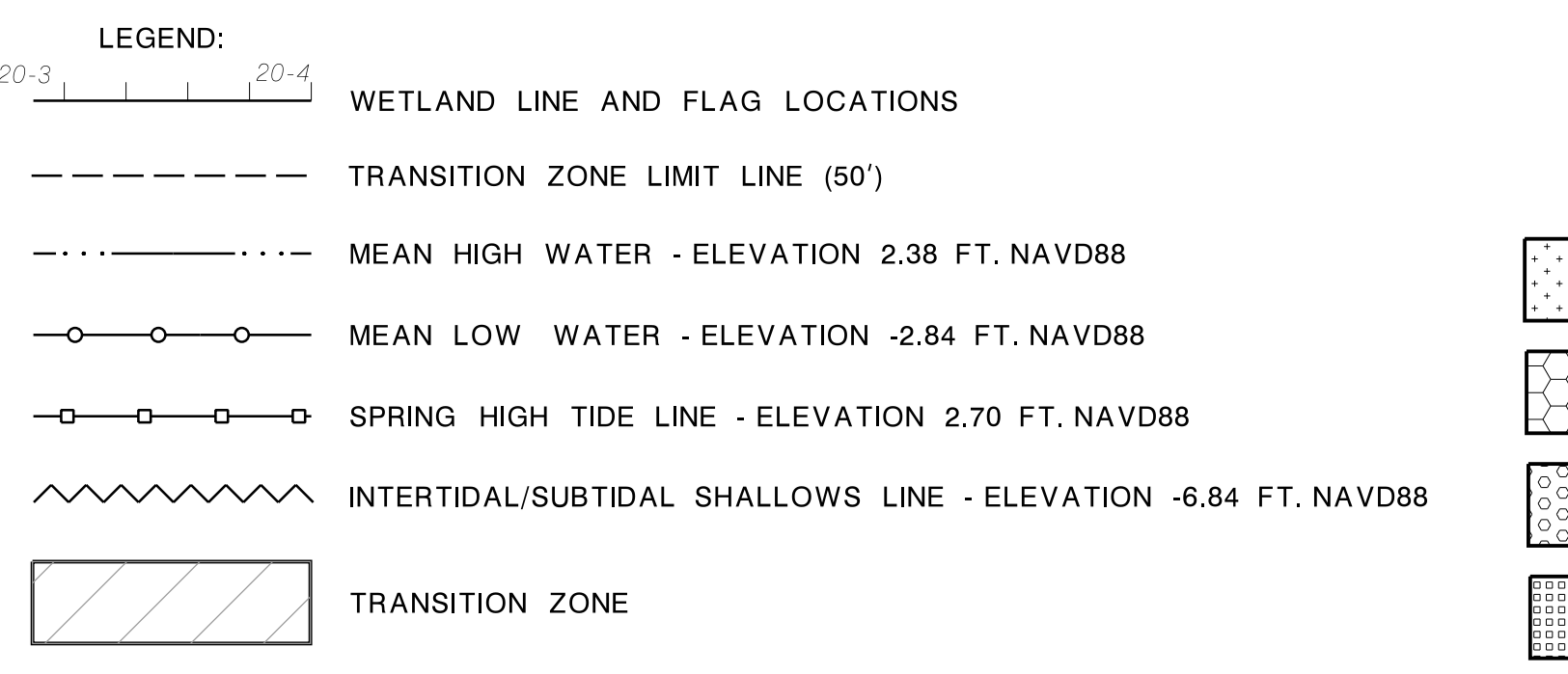
MATCH LINE STA. 200+00
 PLAN SHEET NO. WL-2

WL-1
 WL-3



FRESHWATER WETLANDS IMPACTS (ACRES)

IMPACT TYPE	SPECIAL ACTIVITY TRANSITION AREA WAIVER FOR LINEAR DEVELOPMENT		GENERAL PERMIT NO. 10B		TOTAL
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT	
FRESHWATER WETLANDS	0.000	0.000	0.004	0.003	0.007
WETLAND TRANSITION AREAS	0.062	0.168	0.000	0.000	0.230
TOTAL	0.062	0.168	0.004	0.003	0.237



NEW JERSEY DEPARTMENT OF TRANSPORTATION

WETLANDS IMPACT PLAN

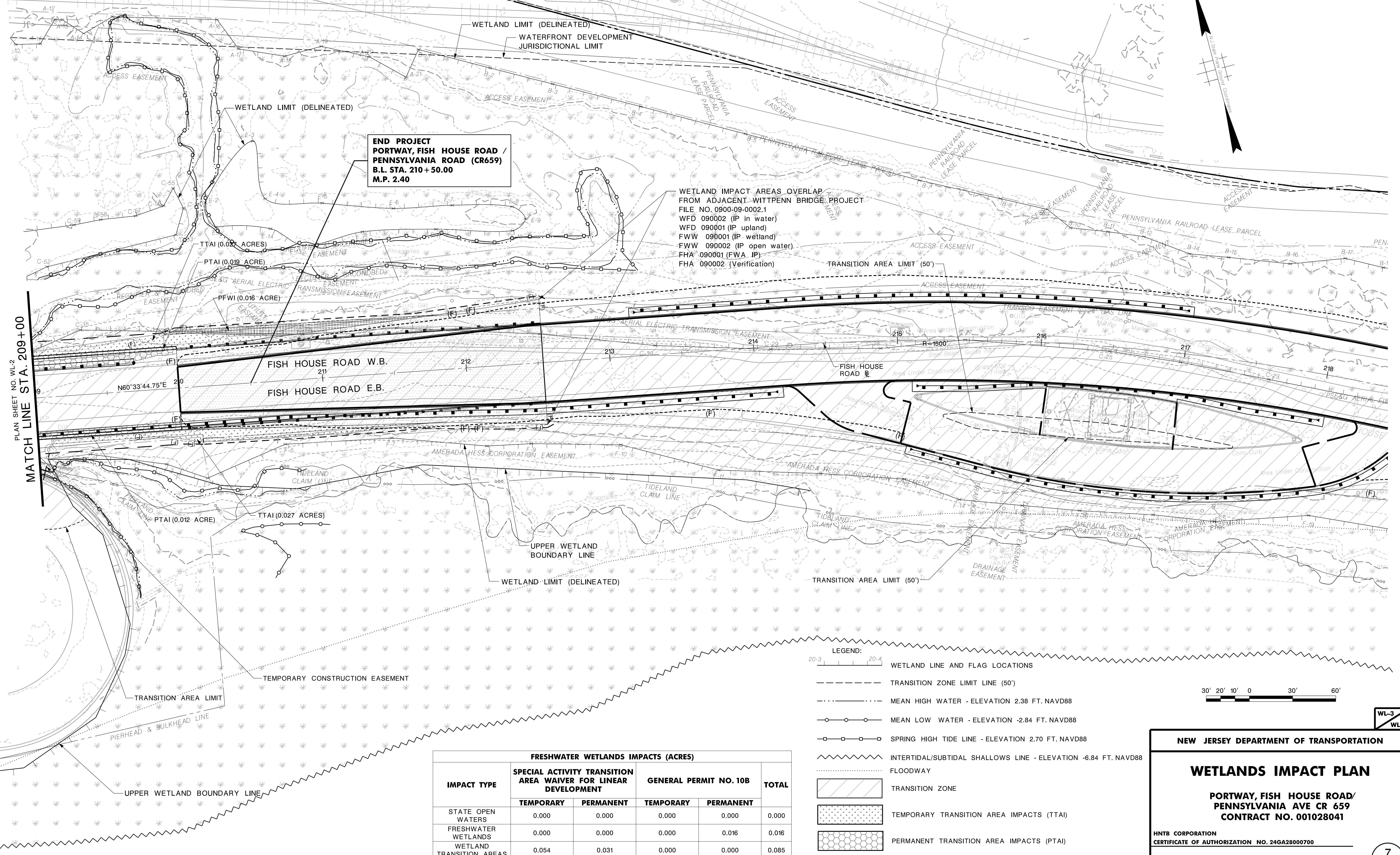
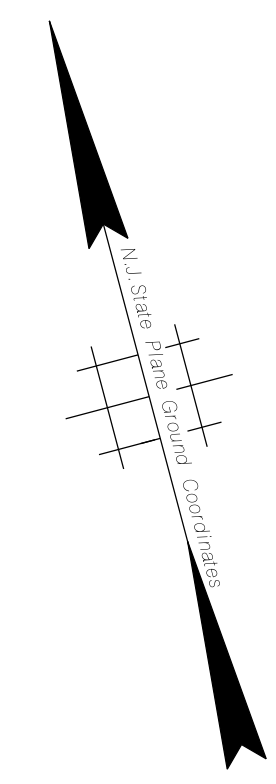
**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

WL-2
WL-3

DATE: \$\$\$DATE\$\$\$
FILE: PF-WL-Impacts-02.dgn



**END PROJECT
PORTWAY, FISH HOUSE ROAD /
PENNSYLVANIA ROAD (CR659)
B.L. STA. 210+50.00
M.P. 2.40**

WETLAND IMPACT AREAS OVERLAP
FROM ADJACENT WITTPENN BRIDGE PROJECT
FILE NO. 0900-09-0002.1
WFD 090002 (IP in water)
WFD 090001 (IP upland)
FWW 090001 (IP wetland)
FWW 090002 (IP open water)
FHA 090001 (FWA IP)
FHA 090002 (Verification)

PLAN SHEET NO. WL-2
MATCH LINE STA. 209+00

LEGEND:

- 20-3 20-4 WETLAND LINE AND FLAG LOCATIONS
- TRANSITION ZONE LIMIT LINE (50')
- MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
- MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
- SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
- INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88
- FLOODWAY
- [Hatched Box] TRANSITION ZONE
- [Dotted Box] TEMPORARY TRANSITION AREA IMPACTS (TTAI)
- [Hexagonal Box] PERMANENT TRANSITION AREA IMPACTS (PTAI)
- [Grid Box] PERMANENT WETLAND IMPACTS (PFWI)



IMPACT TYPE	FRESHWATER WETLANDS IMPACTS (ACRES)				TOTAL
	SPECIAL ACTIVITY TRANSITION AREA WAIVER FOR LINEAR DEVELOPMENT		GENERAL PERMIT NO. 10B		
	TEMPORARY	PERMANENT	TEMPORARY	PERMANENT	
STATE OPEN WATERS	0.000	0.000	0.000	0.000	0.000
FRESHWATER WETLANDS	0.000	0.000	0.000	0.016	0.016
WETLAND TRANSITION AREAS	0.054	0.031	0.000	0.000	0.085
TOTAL	0.054	0.031	0.000	0.016	0.101

NEW JERSEY DEPARTMENT OF TRANSPORTATION

WETLANDS IMPACT PLAN

PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

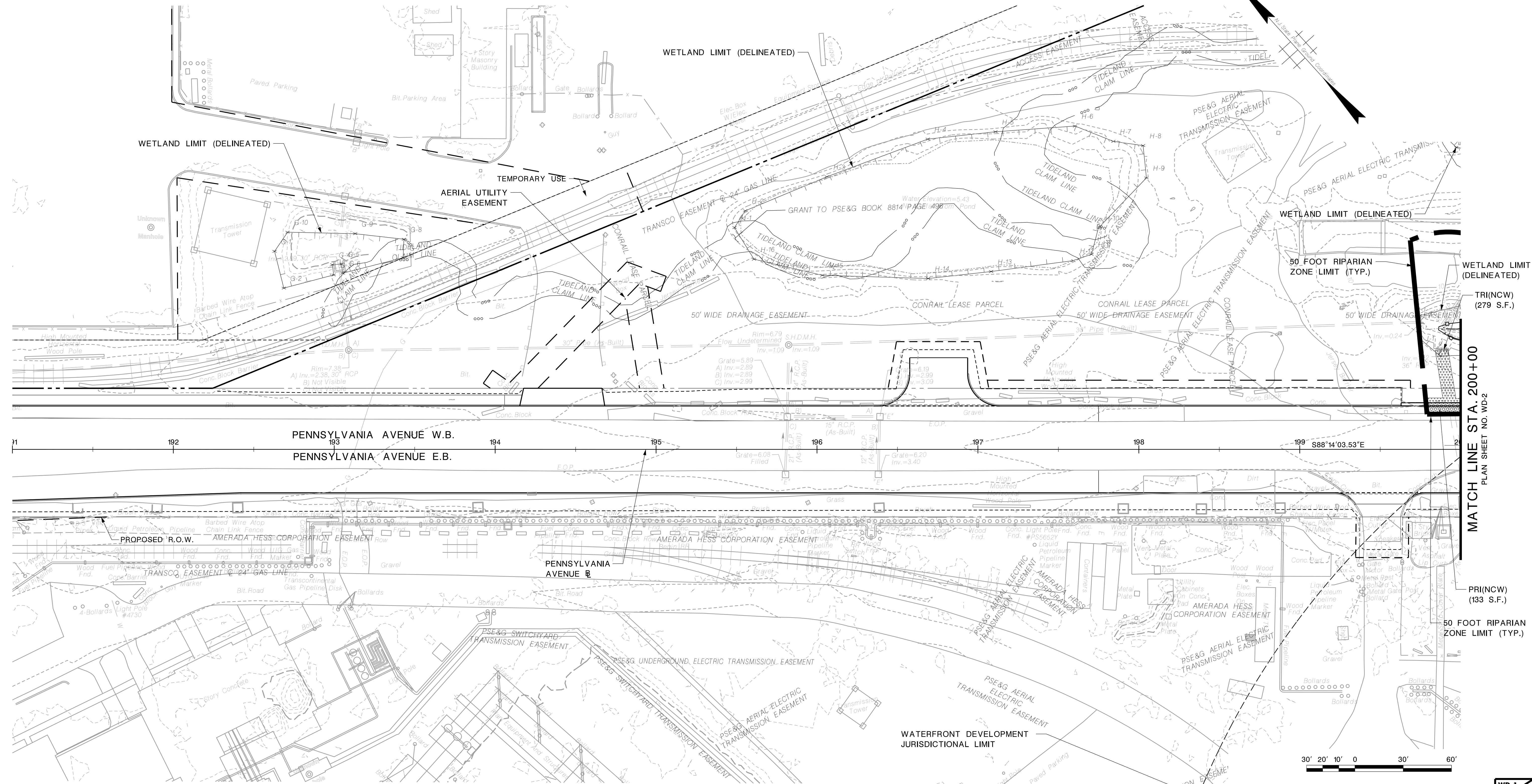
DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$
FILE: PF-WL-Impacts-03.dgn

WL-3
WL-3

TOWN OF KEARNY

COUNTY OF HUDSON



RIPARIAN ZONE IMPACTS (SQUARE FEET)			
PROPOSED REGULATED ACTIVITY	TEMPORARY IMPACTS	PERMANENT IMPACTS	TOTAL DISTURBANCE
RECONSTRUCTED ROADWAY NOT CROSSING WATER	0	133	133
STORMWATER PIPE	279	0	279

NOTE:
THE ENTIRE SITE IS INUNDATED BY THE FEMA 100 YEAR FLOOD EVENT AT ELEVATION 10.6 FEET (NAVD88).

- LEGEND:
- WETLAND LINE AND FLAG LOCATIONS
 - TEMPORARY RIPARIAN ZONE IMPACT - TRI(NCW) NOT CROSSING A WATERWAY
 - PERMANENT RIPARIAN ZONE IMPACT - PRI(NCW) NOT CROSSING A WATERWAY
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88

NEW JERSEY DEPARTMENT OF TRANSPORTATION

WATERFRONT DEVELOPMENT PLANS

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

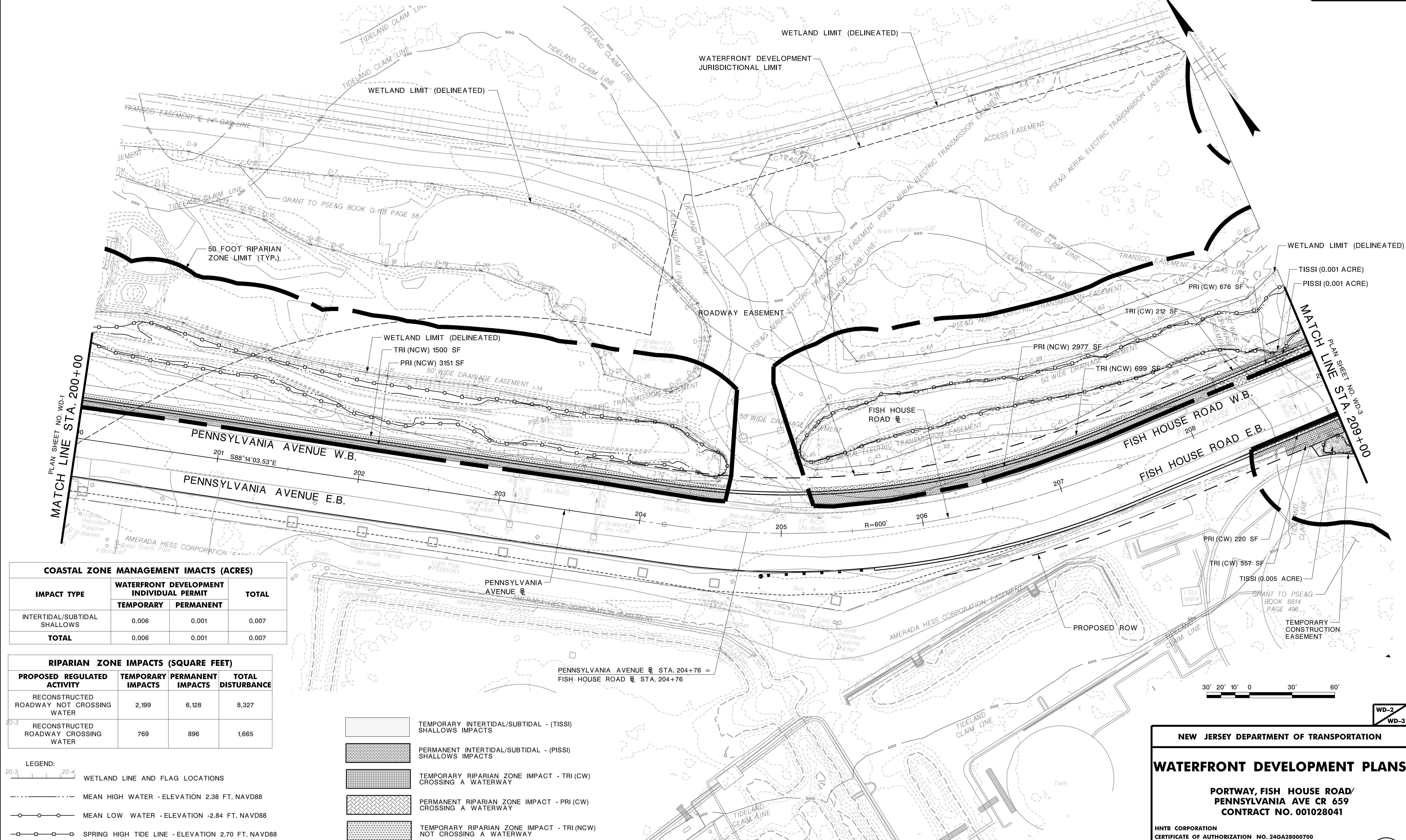
DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

MATCH LINE STA. 200+00
PLAN SHEET NO. WD-2

PRI(NCW)
(133 S.F.)

TRI(NCW)
(279 S.F.)

WD-1
WD-3



PLAN SHEET NO. WD-1
MATCH LINE STA. 200+00

PLAN SHEET NO. WD-3
MATCH LINE STA. 209+00

COASTAL ZONE MANAGEMENT IMPACTS (ACRES)

IMPACT TYPE	WATERFRONT DEVELOPMENT INDIVIDUAL PERMIT		TOTAL
	TEMPORARY	PERMANENT	
INTERTIDAL/SUBTIDAL SHALLOWS	0.006	0.001	0.007
TOTAL	0.006	0.001	0.007

RIPARIAN ZONE IMPACTS (SQUARE FEET)

PROPOSED REGULATED ACTIVITY	TEMPORARY IMPACTS	PERMANENT IMPACTS	TOTAL DISTURBANCE
RECONSTRUCTED ROADWAY NOT CROSSING WATER	2,199	6,128	8,327
RECONSTRUCTED ROADWAY CROSSING WATER	769	896	1,665

- LEGEND:**
- WETLAND LINE AND FLAG LOCATIONS
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88

- [Pattern] TEMPORARY INTERTIDAL/SUBTIDAL - (TISSI) SHALLOWS IMPACTS
- [Pattern] PERMANENT INTERTIDAL/SUBTIDAL - (PISSI) SHALLOWS IMPACTS
- [Pattern] TEMPORARY RIPARIAN ZONE IMPACT - TRI (CW) CROSSING A WATERWAY
- [Pattern] PERMANENT RIPARIAN ZONE IMPACT - PRI (CW) CROSSING A WATERWAY
- [Pattern] TEMPORARY RIPARIAN ZONE IMPACT - TRI (NCW) NOT CROSSING A WATERWAY
- [Pattern] PERMANENT RIPARIAN ZONE IMPACT - PRI (NCW) NOT CROSSING A WATERWAY

NOTE:
THE ENTIRE SITE IS INUNDATED BY THE FEMA 100 YEAR FLOOD EVENT AT ELEVATION 10.6 FEET (NAVD88).



NEW JERSEY DEPARTMENT OF TRANSPORTATION

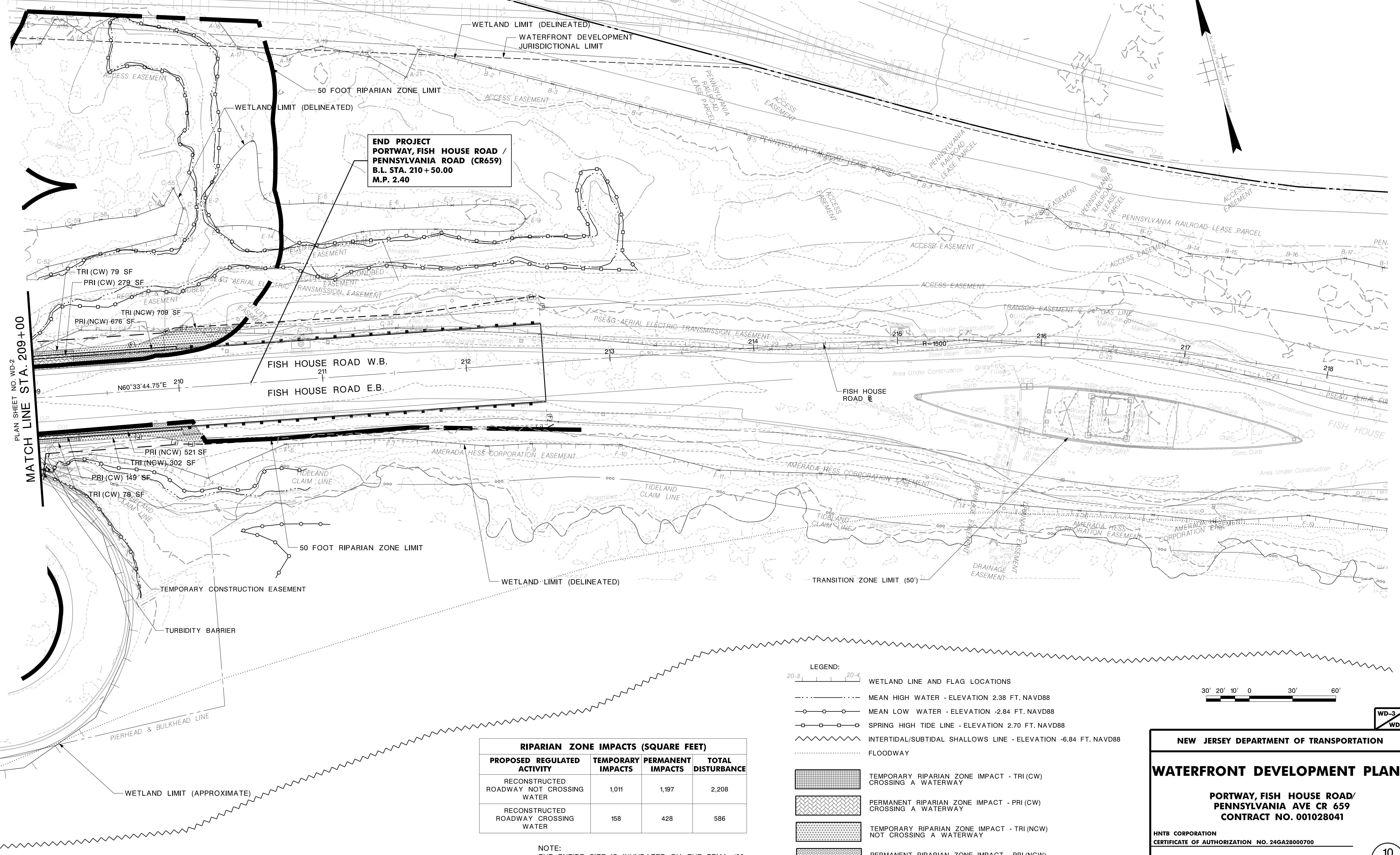
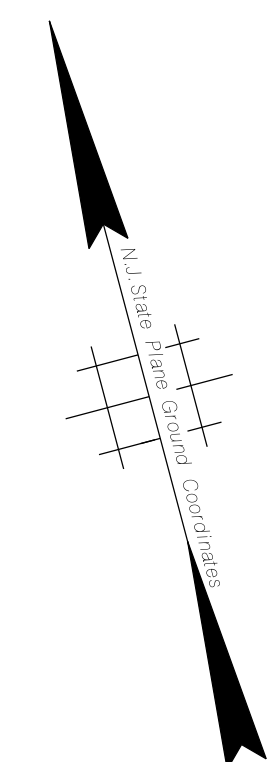
WATERFRONT DEVELOPMENT PLANS

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

WD-2
WD-3



**END PROJECT
PORTWAY, FISH HOUSE ROAD /
PENNSYLVANIA ROAD (CR659)
B.L. STA. 210+50.00
M.P. 2.40**

PLAN SHEET NO. WD-2
MATCH LINE STA. 209+00

- LEGEND:**
- WETLAND LINE AND FLAG LOCATIONS
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88
 - FLOODWAY

- [Pattern] TEMPORARY RIPARIAN ZONE IMPACT - TRI (CW) CROSSING A WATERWAY
- [Pattern] PERMANENT RIPARIAN ZONE IMPACT - PRI (CW) CROSSING A WATERWAY
- [Pattern] TEMPORARY RIPARIAN ZONE IMPACT - TRI (NCW) NOT CROSSING A WATERWAY
- [Pattern] PERMANENT RIPARIAN ZONE IMPACT - PRI (NCW) NOT CROSSING A WATERWAY

RIPARIAN ZONE IMPACTS (SQUARE FEET)			
PROPOSED REGULATED ACTIVITY	TEMPORARY IMPACTS	PERMANENT IMPACTS	TOTAL DISTURBANCE
RECONSTRUCTED ROADWAY NOT CROSSING WATER	1,011	1,197	2,208
RECONSTRUCTED ROADWAY CROSSING WATER	158	428	586

NOTE:
THE ENTIRE SITE IS INUNDATED BY THE FEMA 100 YEAR FLOOD EVENT AT ELEVATION 10.6 FEET (NAVD88).



NEW JERSEY DEPARTMENT OF TRANSPORTATION

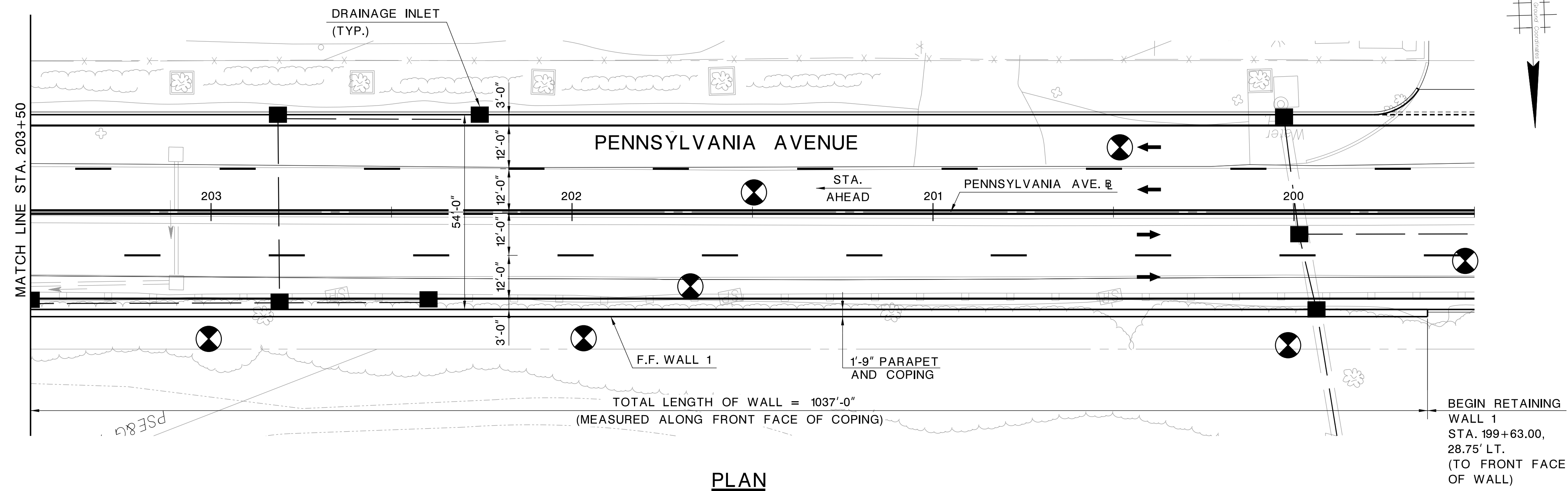
WATERFRONT DEVELOPMENT PLANS

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

WD-3
WD-3

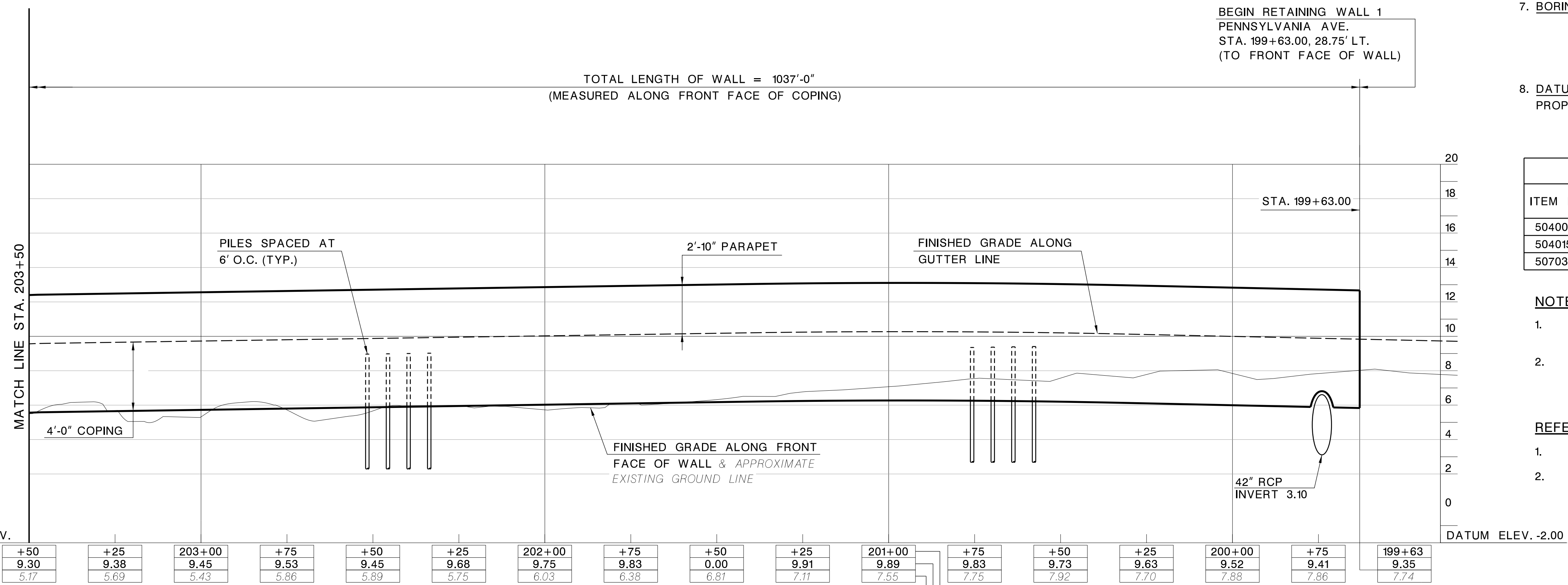


PLAN

SCALE: 1" = 20'-0"

GENERAL NOTES:

- DESIGN SPECIFICATIONS:**
NJDOT BRIDGES AND STRUCTURES DESIGN MANUAL, 16TH EDITION.
AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8TH EDITION, 2017.
- CONSTRUCTION SPECIFICATIONS:**
2019 NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WITH CURRENT SUPPLEMENTAL SPECIFICATIONS AS MODIFIED BY THE SPECIAL PROVISIONS.
- LIVE LOAD:**
LIVE LOAD SURCHARGE IN ACCORDANCE WITH AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SUBSECTION 3.11.6.4
- PARAPET TEST LEVEL:**
TEST LEVEL 4 (TL-4) PER NJDOT STANDARD DRAWING BCD-507-3.
- CONCRETE COMPRESSIVE STRESSES:**
(A) CONCRETE COMPRESSIVE STRENGTHS (F'_c)
CLASS A (COPING) 4,000 PSI
CLASS HPC-1 (PARAPET) 4,000 PSI
(B) CLASS MIX DESIGN STRENGTHS
(IN ACCORDANCE WITH TABLE 903.03.06-3 AND 903.05.02-1 OF THE 2019 NJDOT STANDARD SPECIFICATIONS):
CLASS A (COPING) 4,600 PSI
CLASS HPC-1 (PARAPET) 5,400 PSI
- REINFORCEMENT STEEL:**
ASTM A615 GRADE 60
- BORINGS:**
 INDICATES LOCATION OF BORINGS AND CONE PENETRATION TESTS.
- DATUM:**
PROPOSED ELEVATIONS BASED ON NAVD OF 1988.



DEVELOPED ELEVATION

(LOOKING SOUTH)
SCALE: 1" = 20'-0" HORIZ.
1" = 5'-0" VERT.

RETAINING WALL, LOCATION NO. 1
RETAINING WALL 1

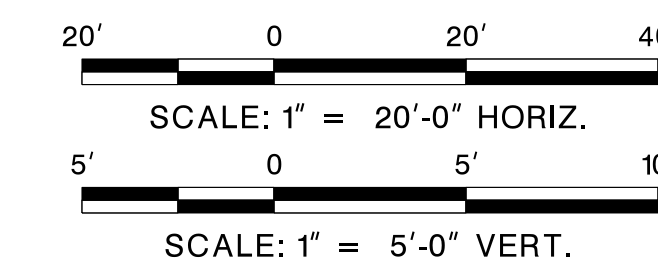
QUANTITIES THIS SHEET			
ITEM NO.	DESCRIPTION	UNIT	CONTRACT QUANTITY
504006P	REINFORCEMENT STEEL, EPOXY COATED	LB	XX,XXX
504015P	CONCRETE FOOTING	CY	XX,XXX
507039P	CONCRETE BRIDGE PARAPET, HPC	LF	XX,XXX

NOTES:

- THIS GENERAL PLAN AND ELEVATION IS ORIENTED SO PENNSYLVANIA AVENUE STATIONS AHEAD IS TO THE LEFT.
- THE EXISTING AND PROPOSED UTILITIES SHOWN IN THE ELEVATION ARE APPROXIMATE AND ARE FOR REFERENCE ONLY. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION.

REFERENCES:

- FOR TYPICAL SECTIONS, SEE SHEET B-6.
- FOR ADDITIONAL PARAPET DETAILS, SEE STANDARD DRAWING BCD-507-3.



DATE: \$\$\$DATE\$\$\$
FILE: PF-WALL_1_GPE-1-Permit.dgn

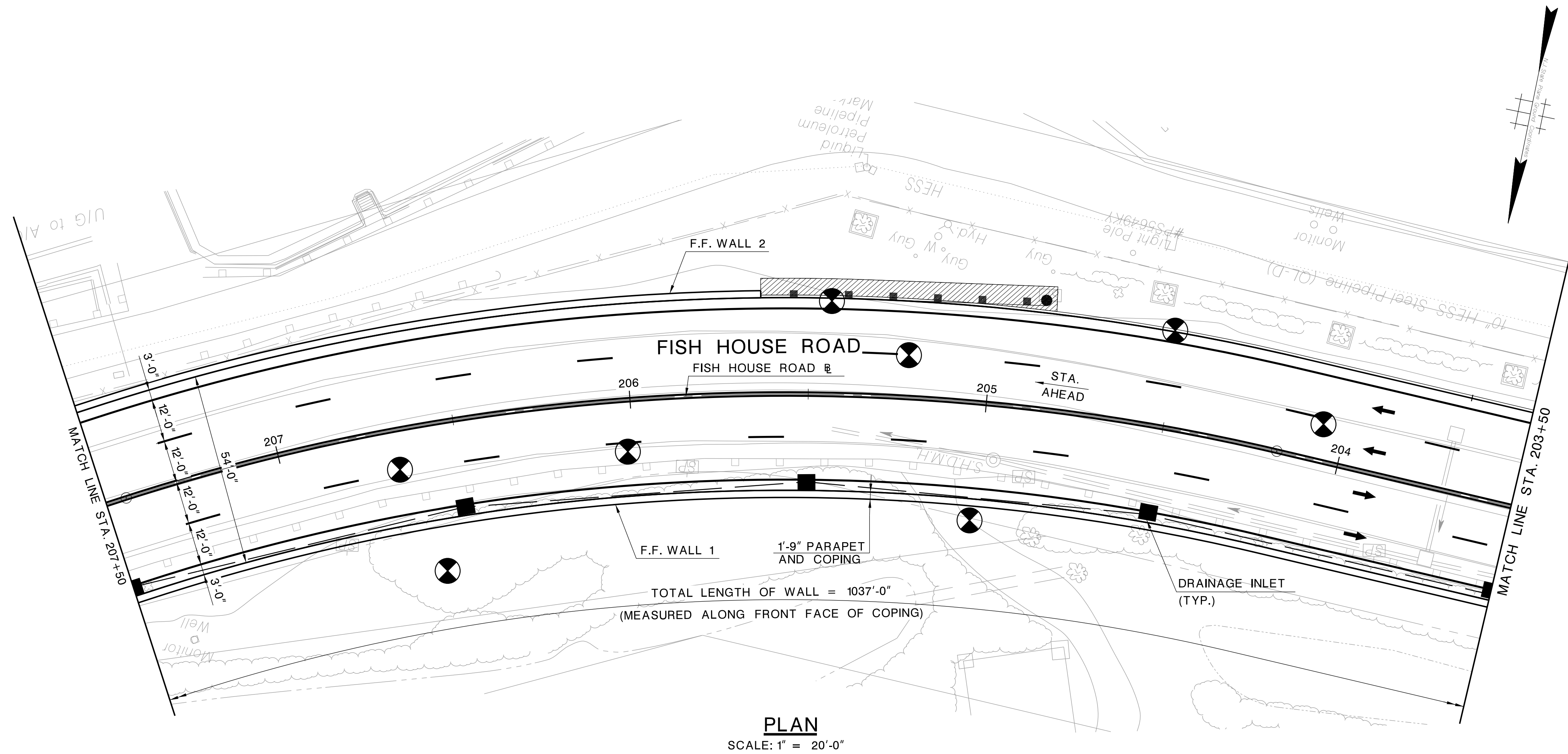
NEW JERSEY DEPARTMENT OF TRANSPORTATION

GENERAL PLAN AND ELEVATION
WALL-1
SHEET 1
PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

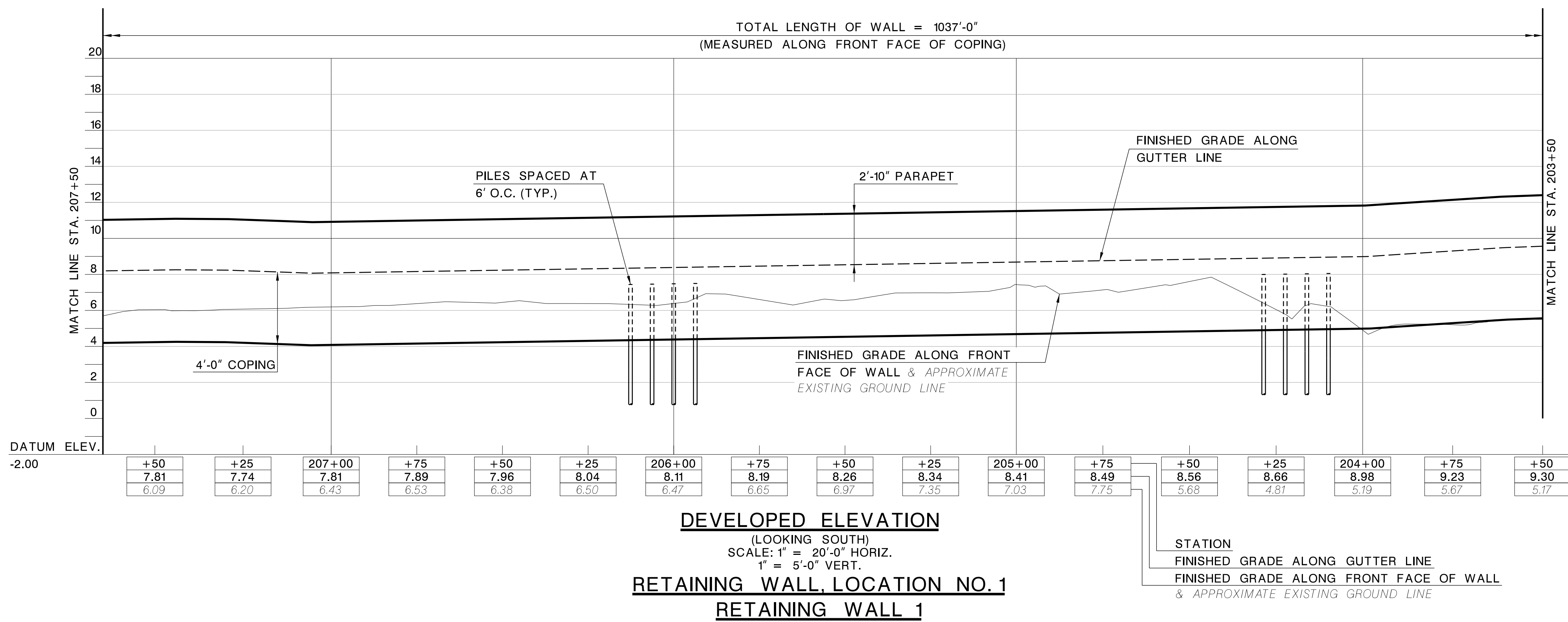
HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY DATE
N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

B-1
B-6



PLAN
SCALE: 1" = 20'-0"



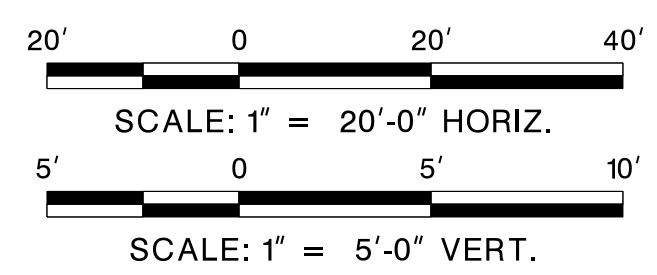
DEVELOPED ELEVATION
(LOOKING SOUTH)
SCALE: 1" = 20'-0" HORIZ.
1" = 5'-0" VERT.
RETAINING WALL LOCATION NO. 1
RETAINING WALL 1

NOTES:

1. THIS GENERAL PLAN AND ELEVATION IS ORIENTED SO FISH HOUSE ROAD STATIONS AHEAD IS TO THE LEFT.
2. THE EXISTING AND PROPOSED UTILITIES SHOWN IN THE ELEVATION ARE APPROXIMATE AND ARE FOR REFERENCE ONLY. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION.

REFERENCES:

1. FOR TYPICAL SECTIONS, SEE SHEET B-6.
2. FOR ADDITIONAL PARAPET DETAILS, SEE STANDARD DRAWING BCD-507-3.



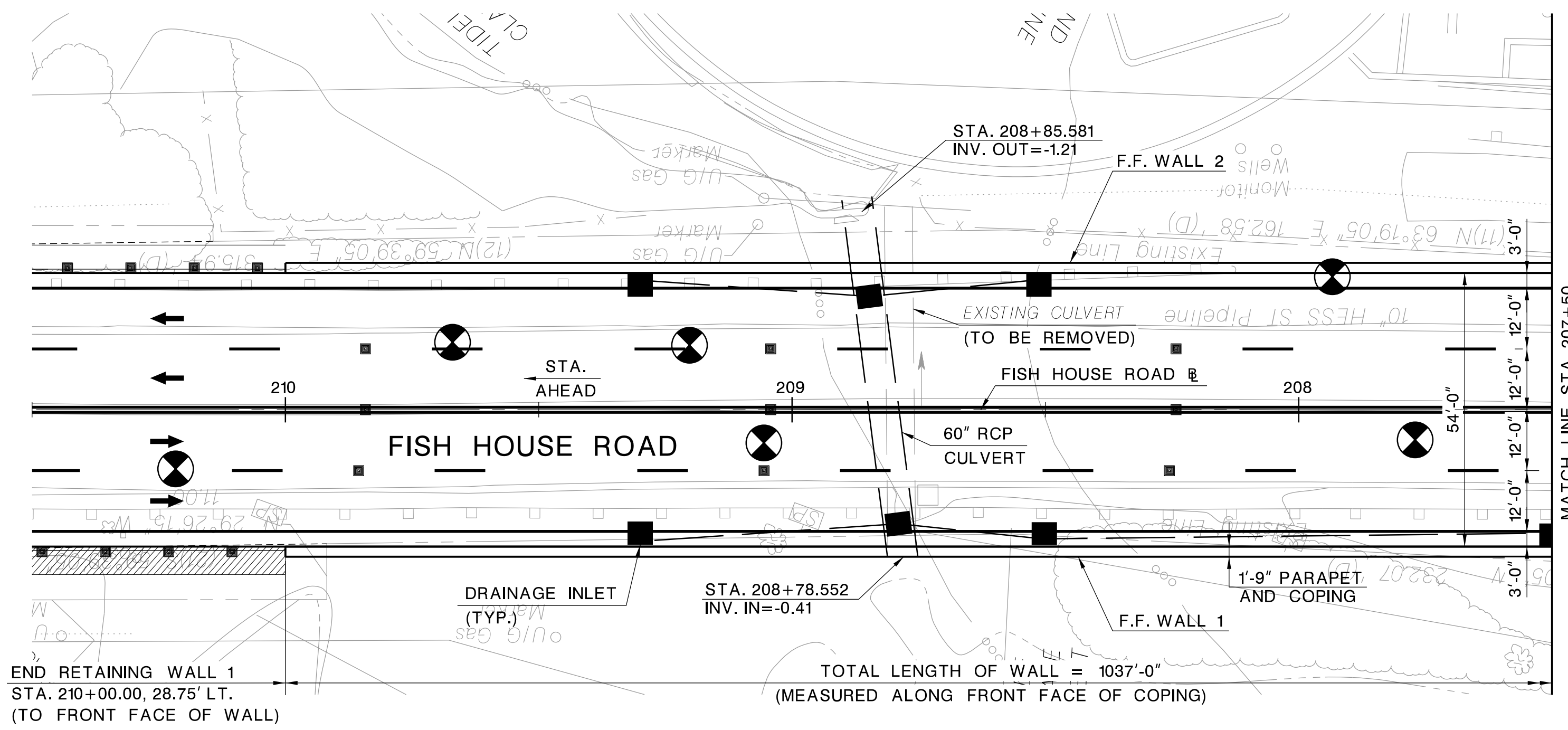
NEW JERSEY DEPARTMENT OF TRANSPORTATION
GENERAL PLAN AND ELEVATION
WALL-1
SHEET 2
 PORTWAY, FISH HOUSE ROAD/
 PENNSYLVANIA AVE CR 659
 CONTRACT NO. 001028041

HNTB CORPORATION
 CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

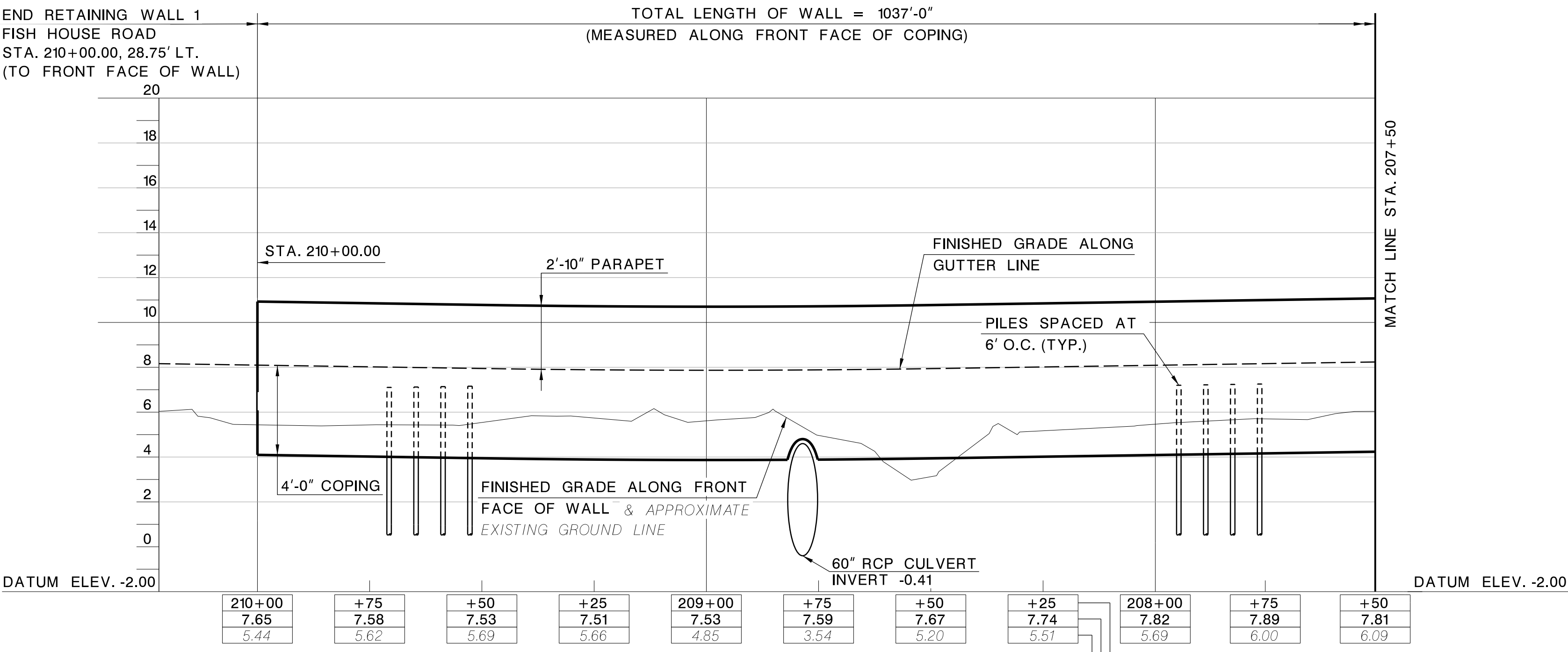
DAVID N. MURRAY DATE
 N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

B-2
B-6

DATE: \$\$\$DATE\$\$\$
 FILE: PF-WALL-1_GPE-2-Permit.dgn



PLAN
SCALE: 1" = 20'-0"



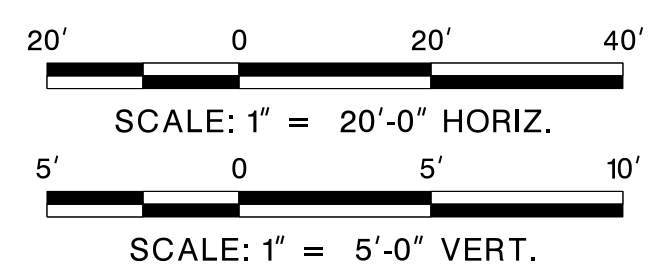
DEVELOPED ELEVATION
(LOOKING SOUTH)
SCALE: 1" = 20'-0" HORIZ.
1" = 5'-0" VERT.
RETAINING WALL LOCATION NO. 1
RETAINING WALL 1

NOTES:

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REFERENCES:

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- FOR ADDITIONAL PARAPET DETAILS, SEE STANDARD DRAWING BCD-507-3.



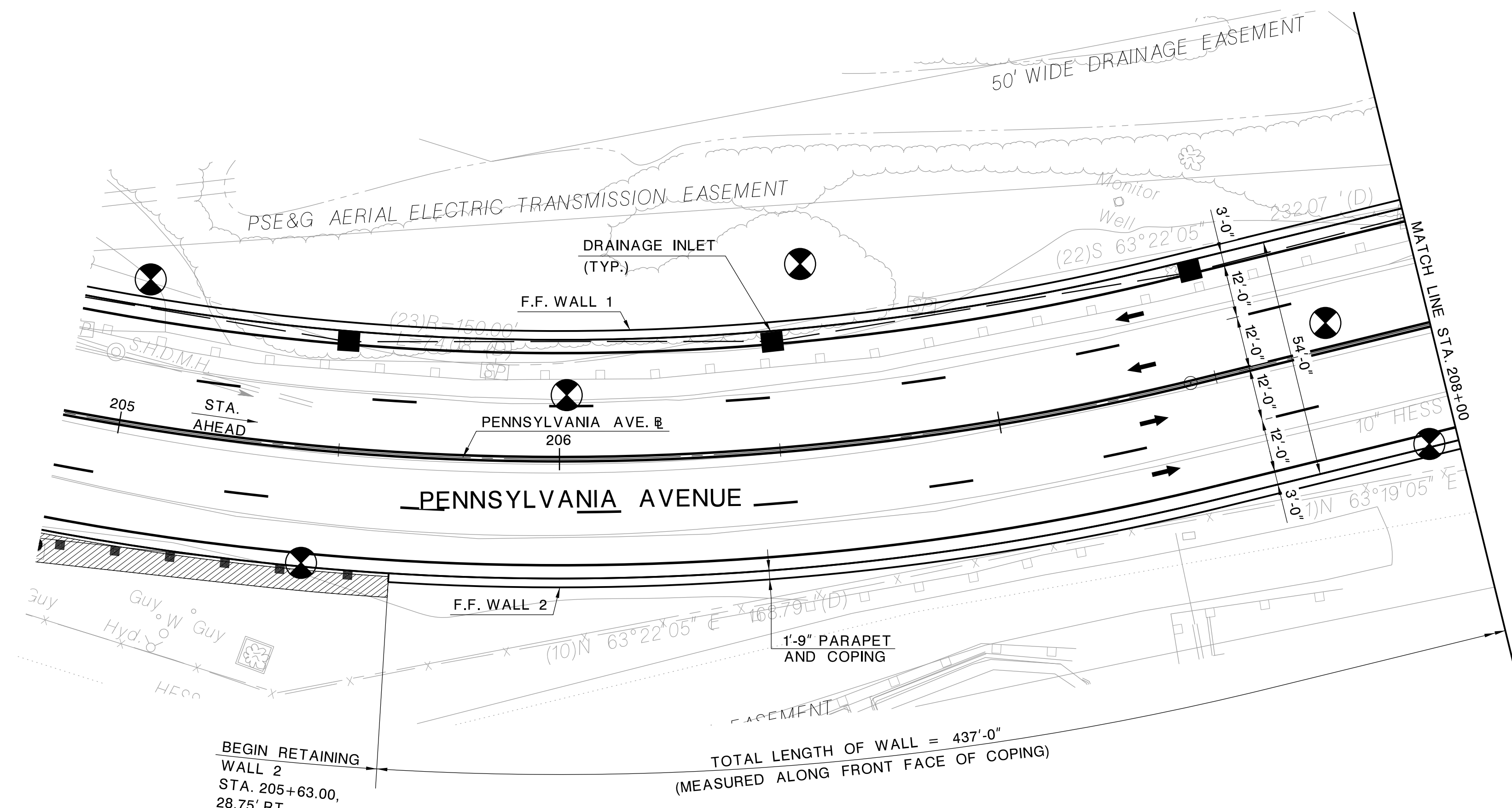
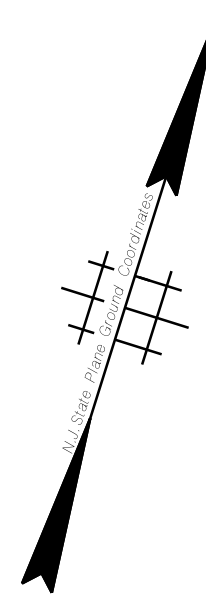
NEW JERSEY DEPARTMENT OF TRANSPORTATION
GENERAL PLAN AND ELEVATION
WALL-1
SHEET 3
PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

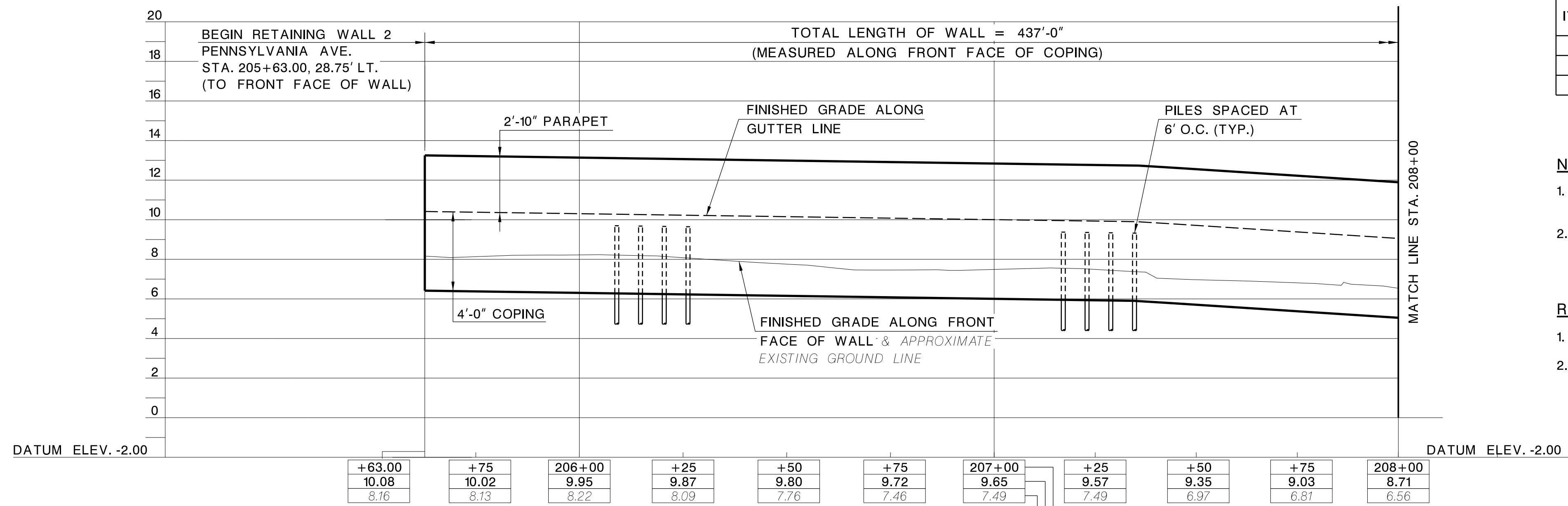
DAVID N. MURRAY DATE
N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

B-3
B-6

DATE: \$\$\$DATE\$\$\$
FILE: PF-WALL-1_GPE-3-Permit.dgn



PLAN
SCALE: 1" = 20'-0"



DEVELOPED ELEVATION
(LOOKING NORTH)
SCALE: 1" = 20'-0" HORIZ.
1" = 5'-0" VERT.
RETAINING WALL LOCATION NO. 2
RETAINING WALL 2

GENERAL NOTES:

- DESIGN SPECIFICATIONS:**
NJDOT BRIDGES AND STRUCTURES DESIGN MANUAL, 16TH EDITION.
AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8TH EDITION, 2017.
- CONSTRUCTION SPECIFICATIONS:**
2019 NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WITH CURRENT SUPPLEMENTAL SPECIFICATIONS AS MODIFIED BY THE SPECIAL PROVISIONS.
- LIVE LOAD:**
LIVE LOAD SURCHARGE IN ACCORDANCE WITH AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SUBSECTION 3.11.6.4
- PARAPET TEST LEVEL:**
TEST LEVEL 4 (TL-4) PER NJDOT STANDARD DRAWING BCD-507-3.
- CONCRETE COMPRESSIVE STRESSES:**
(A) CONCRETE COMPRESSIVE STRENGTHS (F'_c)
CLASS A (COPING) 4,000 PSI
CLASS HPC-1 (PARAPET) 4,000 PSI
(B) CLASS MIX DESIGN STRENGTHS
(IN ACCORDANCE WITH TABLE 903.03.06-3 AND 903.05.02-1 OF THE 2019 NJDOT STANDARD SPECIFICATIONS):
CLASS A (COPING) 4,600 PSI
CLASS HPC-1 (PARAPET) 5,400 PSI
- REINFORCEMENT STEEL:**
ASTM A615 GRADE 60
- BORINGS:**
 INDICATES LOCATION OF BORINGS AND CONE PENETRATION TESTS.
LOG NO.
- DATUM:**
PROPOSED ELEVATIONS BASED ON NAVD OF 1988.

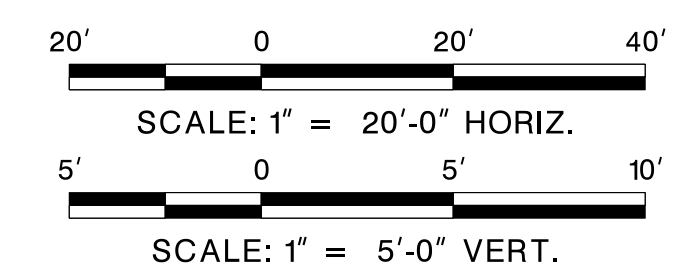
QUANTITIES THIS SHEET			
ITEM NO.	DESCRIPTION	UNIT	CONTRACT QUANTITY
504006P	REINFORCEMENT STEEL, EPOXY COATED	LB	XX,XXX
504015P	CONCRETE FOOTING	CY	XX,XXX
507039P	CONCRETE BRIDGE PARAPET, HPC	LF	XX,XXX

NOTES:

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REFERENCES:

- FOR TYPICAL SECTIONS, SEE SHEET B-6.
- FOR ADDITIONAL PARAPET DETAILS, SEE STANDARD DRAWING BCD-507-3.



DATE: \$\$\$DATE\$\$\$
FILE: PF-WALL-2_GPE-1-Permit.dgn

NEW JERSEY DEPARTMENT OF TRANSPORTATION

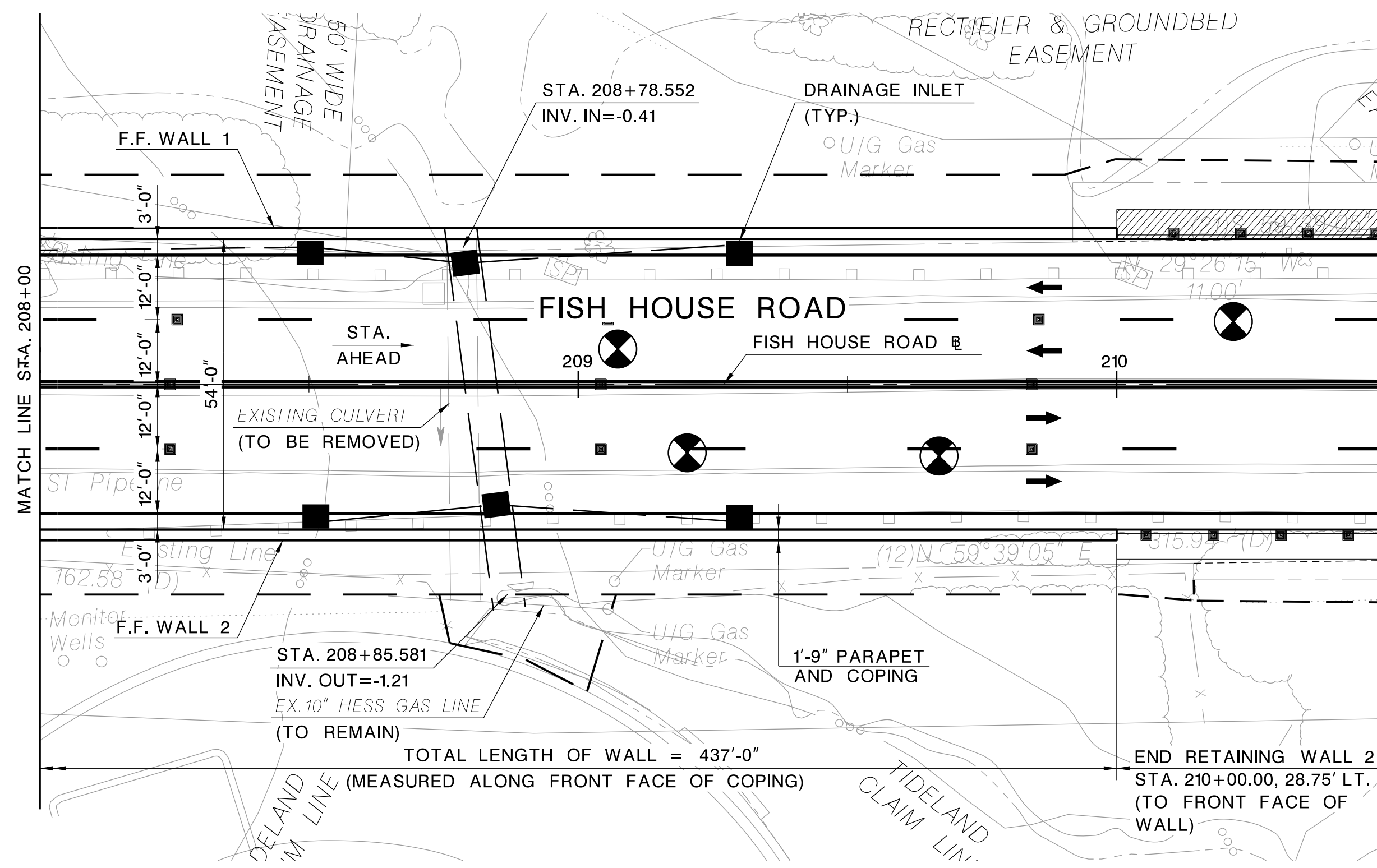
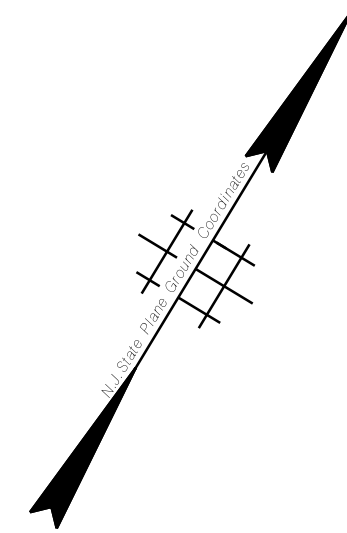
GENERAL PLAN AND ELEVATION
WALL-2
SHEET 1

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659**
CONTRACT NO. 001028041

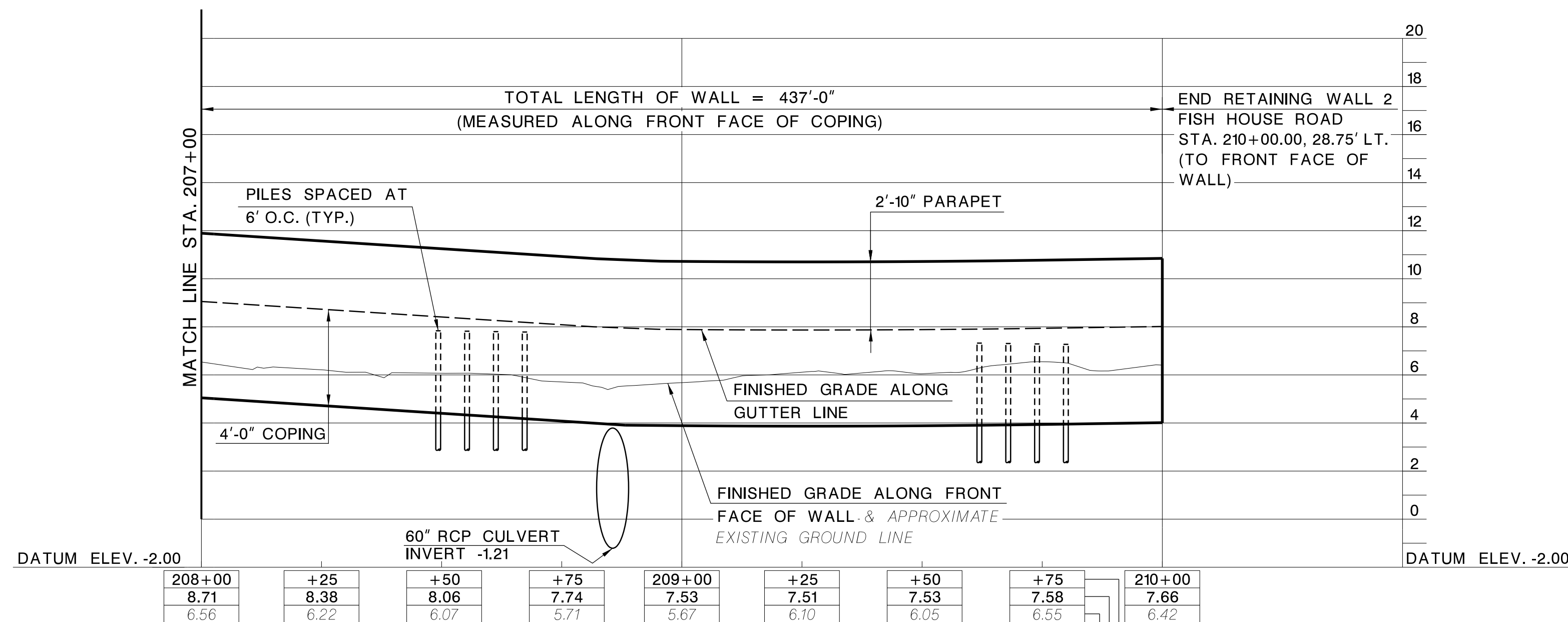
HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY DATE
N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

B-4
B-6



PLAN
SCALE: 1" = 20'-0"



DEVELOPED ELEVATION
(LOOKING NORTH)
SCALE: 1" = 20'-0" HORIZ.
1" = 5'-0" VERT.

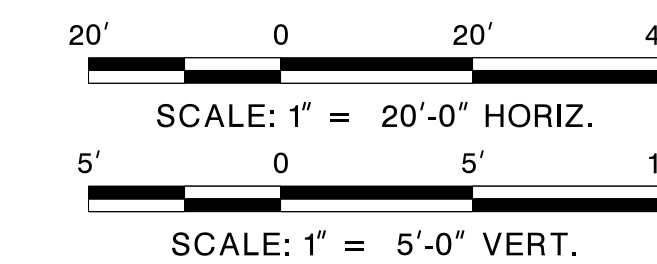
RETAINING WALL, LOCATION NO. 2
RETAINING WALL 2

NOTES:

1. THIS GENERAL PLAN AND ELEVATION IS ORIENTED SO FISH HOUSE ROAD STATIONS AHEAD IS TO THE RIGHT.
2. THE EXISTING AND PROPOSED UTILITIES SHOWN IN THE ELEVATION ARE APPROXIMATE AND ARE FOR REFERENCE ONLY. SEE UTILITY PLANS FOR ADDITIONAL INFORMATION.

REFERENCES:

1. FOR TYPICAL SECTIONS, SEE SHEET B-6.
2. FOR ADDITIONAL PARAPET DETAILS, SEE STANDARD DRAWING BCD-507-3.



NEW JERSEY DEPARTMENT OF TRANSPORTATION

GENERAL PLAN AND ELEVATION
WALL-2
SHEET 2

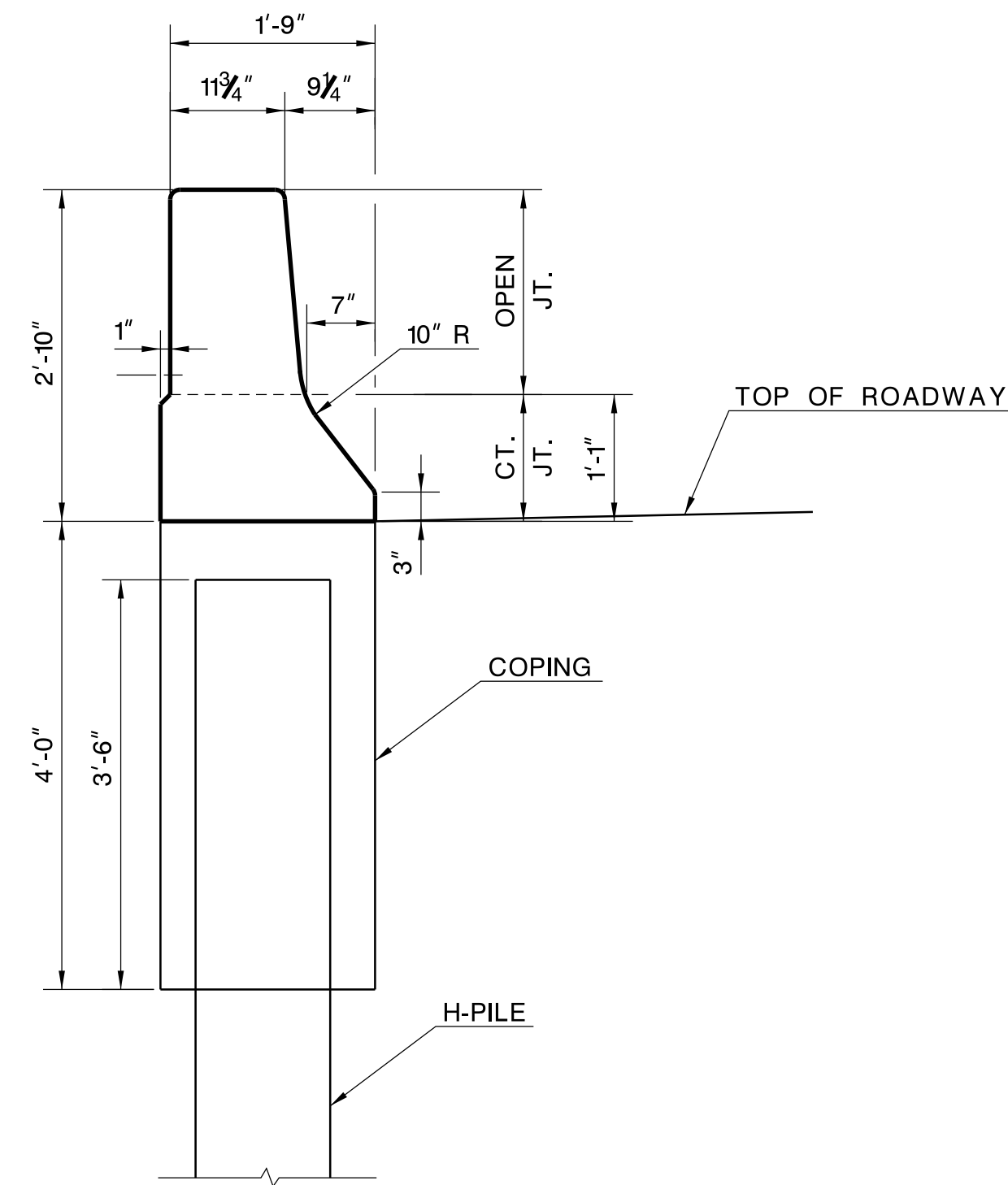
PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

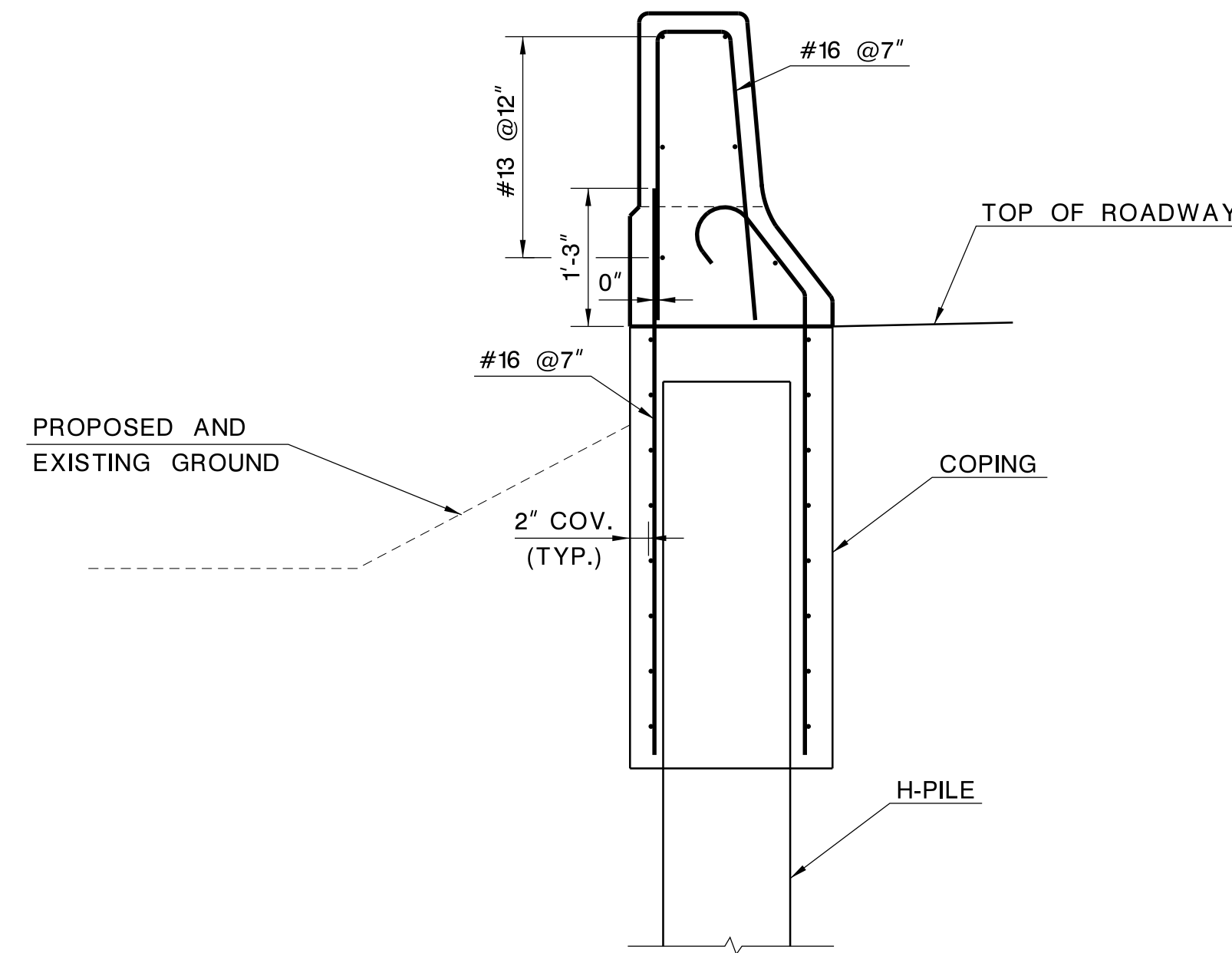
DAVID N. MURRAY DATE
N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

B-5
B-6

DATE: \$\$\$DATE\$\$\$
FILE: PF-WALL-2_GPE-2_Permit.dgn

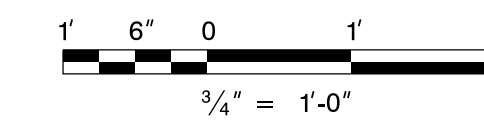


TYPICAL RETAINING WALL SECTION
SCALE: 3/4" = 1'-0"



TYPICAL RETAINING WALL REINFORCEMENT SECTION
SCALE: 3/4" = 1'-0"

DATE: \$\$\$DATE\$\$\$
FILE: PF-WALLS_TYP-1-Permit.dgn



B-6
B-6

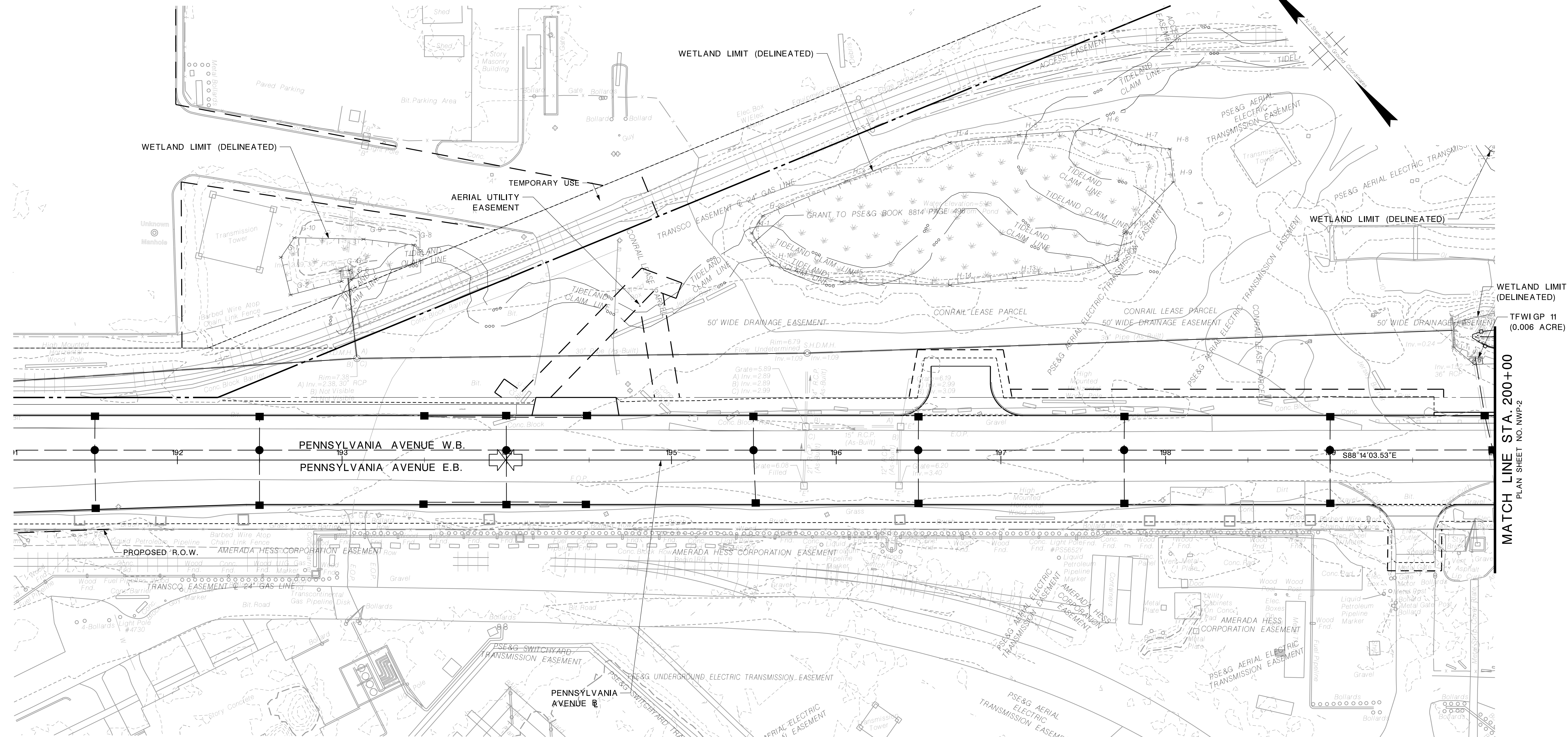
NEW JERSEY DEPARTMENT OF TRANSPORTATION

TYPICAL SECTIONS SHEET 6

PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY DATE
N.J. PROFESSIONAL ENGINEER LIC. NO. 24GE04153300



MATCH LINE STA. 200+00
PLAN SHEET NO. NWP-2



FRESHWATER WETLANDS IMPACTS (ACRES)			
	TEMPORARY	PERMANENT	TOTAL
FRESHWATER WETLANDS	0.006	0.000	0.006
TOTAL	0.006	0.000	0.006

- LEGEND:
- WETLAND LINE AND FLAG LOCATIONS
 - TEMPORARY FRESHWATER WETLAND IMPACTS (TFWI)
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88

NEW JERSEY DEPARTMENT OF TRANSPORTATION

**NATIONWIDE PERMIT (NWP)
NO. 23 IMPACT PLAN**

**PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041**

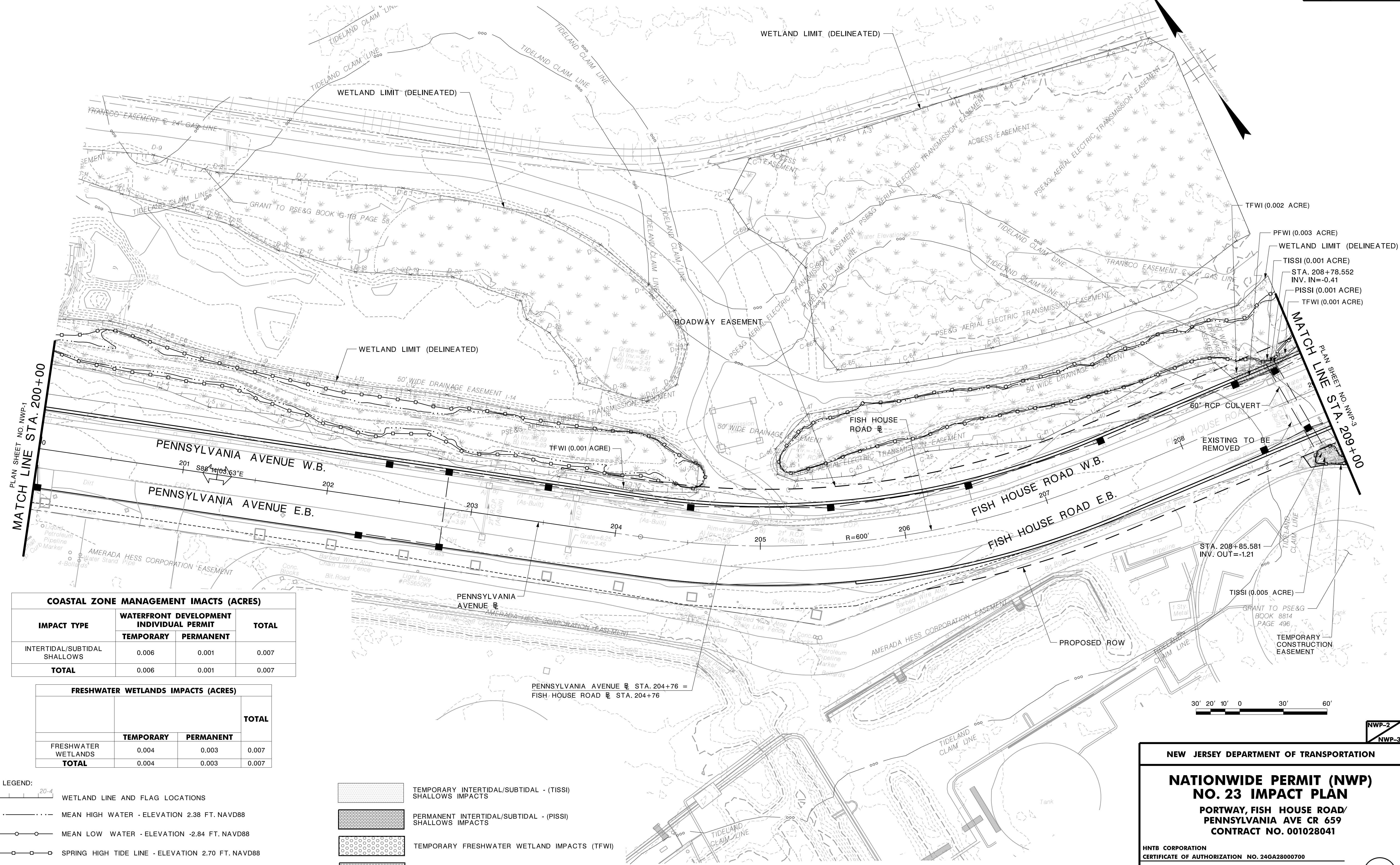
HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$
FILE: PF-ACOE.01.dgn

TOWN OF KEARNY

COUNTY OF HUDSON



COASTAL ZONE MANAGEMENT IMACTS (ACRES)

IMPACT TYPE	WATERFRONT DEVELOPMENT INDIVIDUAL PERMIT		TOTAL
	TEMPORARY	PERMANENT	
INTERTIDAL/SUBTIDAL SHALLOWS	0.006	0.001	0.007
TOTAL	0.006	0.001	0.007

FRESHWATER WETLANDS IMACTS (ACRES)

	TEMPORARY	PERMANENT	TOTAL
	FRESHWATER WETLANDS	0.004	
TOTAL	0.004	0.003	0.007

- LEGEND:**
- 20-3 20-4 WETLAND LINE AND FLAG LOCATIONS
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - ~~~~~ INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88

- [Pattern] TEMPORARY INTERTIDAL/SUBTIDAL - (TISSI) SHALLOWS IMACTS
- [Pattern] PERMANENT INTERTIDAL/SUBTIDAL - (PISSI) SHALLOWS IMACTS
- [Pattern] TEMPORARY FRESHWATER WETLAND IMACTS (TFWI)
- [Pattern] PERMANENT FRESHWATER WETLAND IMACTS (PFIWI)



NEW JERSEY DEPARTMENT OF TRANSPORTATION

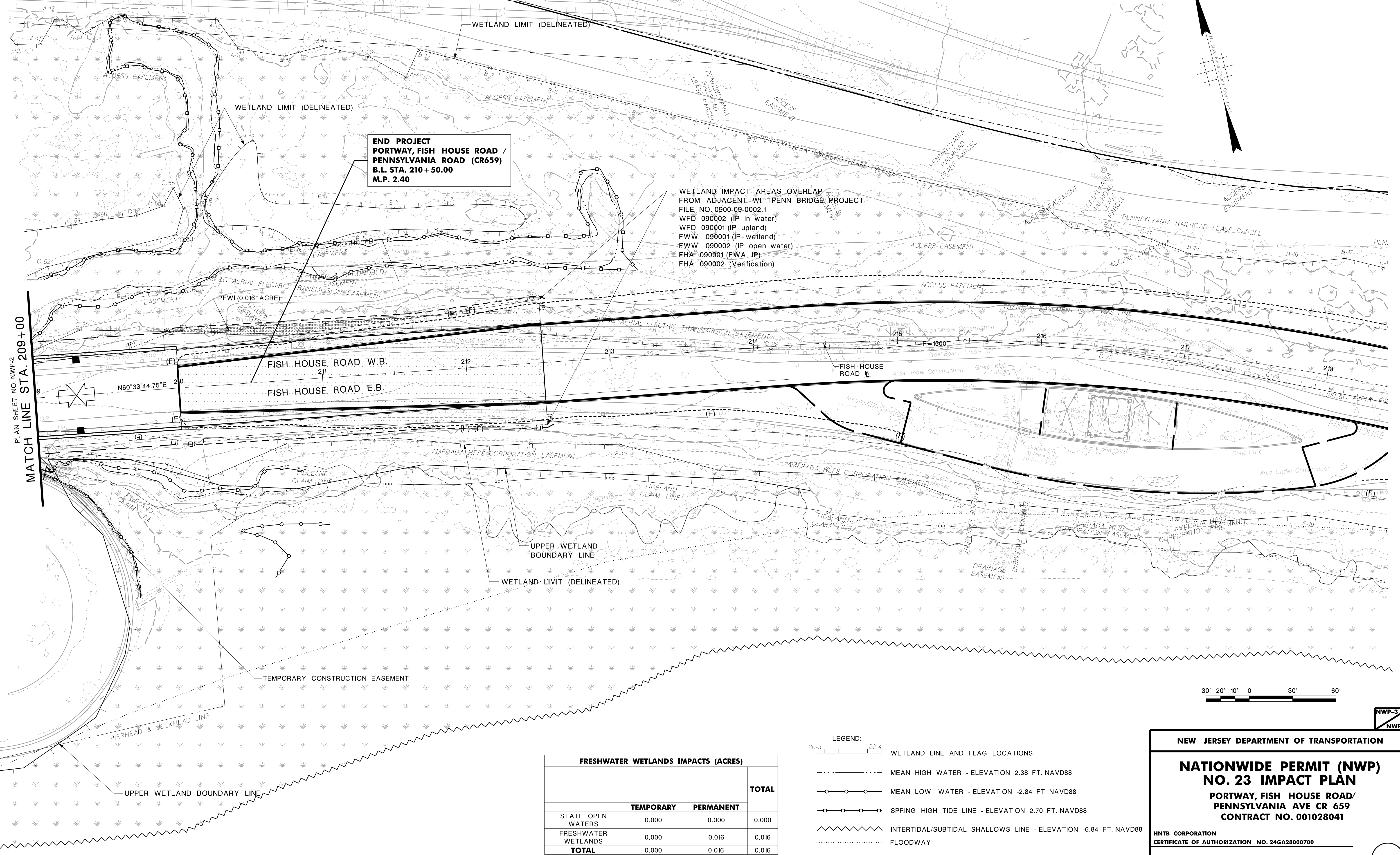
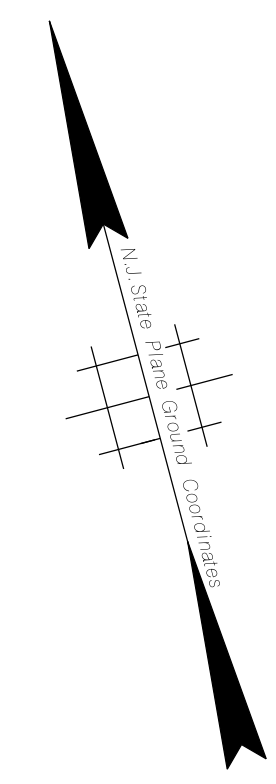
NATIONWIDE PERMIT (NWP) NO. 23 IMPACT PLAN

PORTWAY, FISH HOUSE ROAD/ PENNSYLVANIA AVE CR 659 CONTRACT NO. 001028041

HNTB CORPORATION
 CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
 NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300

DATE: \$\$\$DATE\$\$\$
 FILE: PF-ACOE.02.dgn



**END PROJECT
PORTWAY, FISH HOUSE ROAD /
PENNSYLVANIA ROAD (CR659)
B.L. STA. 210+50.00
M.P. 2.40**

WETLAND IMPACT AREAS OVERLAP
FROM ADJACENT WITTPENN BRIDGE PROJECT
FILE NO. 0900-09-0002.1
WFD 090002 (IP in water)
WFD 090001 (IP upland)
FWW 090001 (IP wetland)
FWW 090002 (IP open water)
FHA 090001 (FWA IP)
FHA 090002 (Verification)

PLAN SHEET NO. NWP-2
MATCH LINE STA. 209+00

N60°33'44.75"E

FISH HOUSE ROAD W.B.
211
FISH HOUSE ROAD E.B.

TEMPORARY CONSTRUCTION EASEMENT

UPPER WETLAND BOUNDARY LINE

WETLAND LIMIT (DELINEATED)

UPPER WETLAND BOUNDARY LINE



FRESHWATER WETLANDS IMPACTS (ACRES)			
	TEMPORARY	PERMANENT	TOTAL
STATE OPEN WATERS	0.000	0.000	0.000
FRESHWATER WETLANDS	0.000	0.016	0.016
TOTAL	0.000	0.016	0.016

- LEGEND:
- WETLAND LINE AND FLAG LOCATIONS
 - MEAN HIGH WATER - ELEVATION 2.38 FT. NAVD88
 - MEAN LOW WATER - ELEVATION -2.84 FT. NAVD88
 - SPRING HIGH TIDE LINE - ELEVATION 2.70 FT. NAVD88
 - INTERTIDAL/SUBTIDAL SHALLOWS LINE - ELEVATION -6.84 FT. NAVD88
 - FLOODWAY
 - PERMANENT WETLAND IMPACTS (PFWI)

NEW JERSEY DEPARTMENT OF TRANSPORTATION

**NATIONWIDE PERMIT (NWP)
NO. 23 IMPACT PLAN**

PORTWAY, FISH HOUSE ROAD/
PENNSYLVANIA AVE CR 659
CONTRACT NO. 001028041

HNTB CORPORATION
CERTIFICATE OF AUTHORIZATION NO. 24GA28000700

DAVID N. MURRAY
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE04153300



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK NY 10278-0090

CENAN-OP-RW

NATIONWIDE PERMIT COMPLIANCE CERTIFICATION AND REPORT FORM

Permittee: Ms. Amber Cheney, New Jersey Department of Transportation, Post Office Box 600
Trenton, New Jersey 08625

Permit No.: NAN-2021-00634-WCO

Date Permit Issued: _____

Location: Hackensack River waterway, Town of Kearny, Hudson County, New Jersey

Within 30 days of the **COMPLETION** of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to the address at the bottom of this form.

Please note that your permitted activity is subject to a compliance inspection by a U.S. Army Corps of Engineers representative. If you fail to comply with this permit you are subject to permit suspension, modification or revocation.

I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of said permit, and required mitigation was completed in accordance with the permit conditions.

Signature of Permittee

Date

Email this form to Danielle.R.Courtois@usace.army.mil OR CENAN-R-Permit-App@usace.army.mil